 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	19 th December 2018
	REPORT OF:	HEAD OF PLACES & PLANNING
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AGENDA ITEM:	5	WARD: Earlswood & Whitebushes

APPLICATION NUMBER:		18/01971/F	VALID:	18 th September 2018
APPLICANT:	Encore Care Homes Ltd		AGENT:	N/A
LOCATION:	LILLIPUT NURSERY, WEST AVENUE, SALFORDS			
DESCRIPTION:	Proposed development of a 76 bedroom specialist dementia nursing care home (use class c2) with external areas and ancillary buildings, erection of refuse store, cycle store and garden store, formation of landscaped gardens and car parking area			
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SUMMARY

This is a full application for the demolition of the existing building on the site and the erection of a 76 bedroom specialist dementia nursing car home with associated parking, ancillary facilities and landscaping.

The site is currently designated as Urban Open Land. The relevant policy, Pc6, does however allow for replacement of existing buildings on UOL where these would not compromise local visual amenity or the functioning of social, community or educational uses. In this instance, it is considered that those features which presently give the site its "green" character, namely the existing boundary landscaping and strong tree cover, would be retained as part of the development. In addition, the applicant has demonstrated through marketing evidence and analysis of alternative comparable facilities that there is no reasonable prospect of a nursery or other community use continuing on the site. In this instance, the proposals would not prejudice the functioning of any on-going community, social or educational uses. For this reason, it is concluded that there is no objection to the proposals on either the loss of UOL or the loss of community uses. The principle of a care home use on this site is also considered to comply with the relevant locational factors in policies CS14 and Ho21.

Whilst the proposed building would represent an increase in bulk, scale and massing compared to the existing single storey building; it is considered that it has been designed successfully and in such a way that, overall, the building would appear in keeping with the

character of the area. The height of the building would be compatible with the street scene of West Avenue and the design of the frontage, which reads as two semi-detached pairs, would respect the predominant pattern of the street scene. The materials selection is appropriate to the area, and would reinforce local distinctiveness. The layout would also allow for retention of significant tree cover, as well as opportunities for additional planting to contribute to the visual amenity of the site.

The layout of the development is such that reasonably generous separation distances would be retained between the proposed building and neighbouring properties. Given this, and the height of the proposals, it is not considered that the building would cause overbearing or overshadowing effects for neighbours, even acknowledging the lower land level of the bungalows to the south. Obscure glazing of some windows is proposed to ensure there would be no loss of privacy. As a result, whilst there would be some change experienced by adjoining occupiers, it is not considered that the proposal would cause unacceptable harm to their amenities. In most cases, this would be aided further by the retained extensive boundary tree cover which provides a high level of screening.

The Tree Officer was consulted on the application and has raised no objection subject to condition and has confirmed that a detailed landscaping scheme can be implemented which will contribute to the character of the area. In particular, trees along the southern, western and eastern boundaries would all be retained and a tree protection condition would ensure that these are not harmed by the development.

A total of 30 parking spaces are proposed to serve the development. This level of parking is underpinned by accumulation studies using data from the national TRICS database; this evidence has been reviewed by the County Highway Authority who agrees that the proposed level of parking is adequate and further that the level of vehicular movements generated by the proposed use would likely be comparable to existing. To help promote sustainable travel to the site, including public transport, a Travel Statement is recommended to be secured by condition. In addition, the developer has agreed to carry out works to provide a safer crossing point where the existing informal path across the Common emerges onto West Avenue, this project would ensure that this would be a safe and convenient route for future users of the development but would also clearly have wider public benefits, particularly for parents and children walking to Salfords Primary School which is welcomed.

The proposals would make effective use of a brownfield site within the urban area and would provide for nursing care places, a need for which has been identified in the Council's and County Council's own evidence, as well as in the applicant's submissions and would create some employment opportunities.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

Consultations:

County Highway Authority: No objection subject to conditions. Response includes the following commentary:

“Vehicle movements to and from the proposed development are likely to be similar to those of the existing use.

The developer is providing adequate parking, according to the results of a parking accumulation survey included with the application. As mentioned above, the trip rates for the proposed use are reasonable; therefore the arrivals and departures used to build the parking accumulation survey are reasonable too.

The developer is proposing a bellmouth access, but is not proposing tactile paving, which would be required. I have recommended a condition to cover this.

The developer has not submitted a Travel Statement to encourage non car mode use of travel to and from the site. I have added a condition to cover this.

Currently, pedestrians including school pupils are using an informal path between West Avenue and the A23 Horley Road where there is a guard rail on the west side of West Avenue. A kerb build out scheme, which is likely to cost between £15,000 and £20,000 is required to protect those vulnerable pedestrians from stepping out onto the carriageway from behind the guard rail. This scheme would be worthy of a CIL money.”

Tree Officer: No objection subject to conditions regarding tree protection/arboricultural measures and landscaping – summary of comments as follows

“The application is supported by detailed arboricultural information which has been undertaken by an arboricultural practice which has undertaken works on a number of occasions within the borough...

The AIA deals with the potential impact from the development which is mainly restricted to incursions into the root protection areas (RPAs) of retained trees. The incursions appear to be within the guidelines and tolerances as set out with BS 5837:2012 and can be managed subject to suitable construction methods (specialist surface construction) and tree protection measures...

The landscape submission includes a drawing and plant schedule along with a maintenance programme. Whilst the landscape is broadly acceptable there are elements which require improvement... Tree sizes are small and would need to be increased in some instances species selection is too ornamental for this location. There is sufficient species available to incorporate structural landscape trees into the design there are missed opportunities such as the south eastern corner of the application site where Amelanchier has been used.”

Salfords & Sidlow Parish Council: Objects for the following reasons: 1) the proposed development is over intensification of the site, 2) the building is still overbearing in this residential area, 3) the proposed parking space are insufficient, 4) the handover time of

7.30am to 8am means there could be a serious clash with school opening hours with additional vehicles using the roads and parking around the school and Care Home.

Surrey Lead Local Flood Authority: Following extensive dialogue with the applicant and revisions to the drainage strategy and site layout; Surrey LLFA confirms that they are satisfied the proposed drainage scheme is acceptable. No objection subject to conditions.

Thames Water: No objection based on the information provided, in respect of either surface water network infrastructure capacity or foul water sewage infrastructure.

Reigate & Banstead Neighbourhood Services: No objection but notes that a drop kerb will be required for the bin area. Provides advisory notes in respect of detail waste collection arrangements and bin store design.

SES Water: No comments

Representations:

Letters were sent to neighbouring properties on 20th September 2018 and subsequently on 3rd December 2018 in relation to the revised plans. A site notice was posted 26th September 2018 and the application was advertised in local press on 4th October 2018.

96 responses have been received, 2 of which objected to the proposals, 92 in support and a further 2 which adopted a neutral position but raised issues for consideration.

The main issues raised in the representations are:

Issue	Response
Out of character with surrounding area	Paragraphs 6.16 to 6.26 and conditions 3, 7, 8 and 9
Overdevelopment	Paragraphs 6.16 to 6.26
Overbearing relationship	Paragraphs 6.28 to 6.31 and condition 3
Noise and disturbance	Paragraph 6.32 and condition 5
Inadequate parking	Paragraphs 6.35 to 6.42 and conditions 12, 13, 14 and 15
Increase in traffic and congestion	Paragraph 6.38 and conditions 13, 14 and 15
Hazard to highway safety	Paragraphs 6.38 to 6.40 and conditions 5, 11, 12 and 14
Inconvenience during construction	Paragraphs 6.32 and 6.41 and condition 5
Flooding	Paragraph 6.48 and conditions 6 and 18
Drainage/sewage capacity	Paragraph 6.48 and conditions 6 and 18
Alternative location/proposal preferred	No specific alternatives specified. Proposal has been considered on its own merits. Matters of principle addressed at

	paragraphs 6.4 to 6.15.
Economic growth/jobs (Support)	Paragraph 6.50
Need for elderly housing/care provision (Support)	Paragraphs 6.14 and 6.50
Design (Support)	Paragraphs 6.16 to 6.26
Regeneration of derelict/vacant site (Support)	Paragraph 6.50
Loss of private view	Not a material planning consideration
Property devaluation	Not a material planning consideration

It is acknowledged that a number of the representations received in support of the proposals raise very similar themes and issues and appear to be a templated letter. However, each letter carries the name and address of a separate individual and is therefore treated as a valid representation.

1.0 Site and Character Appraisal

- 1.1 The site comprises a former children's nursery on eastern side of West Avenue in Salfords, located just off the main A23.
- 1.2 The site consists of a largely single storey, flat roof building (with small part 1.5 storey) of utilitarian/municipal appearance. The building is set within a relatively generous site and is surrounded by a part grassed/part hard surfaced play area and small car park. The site is bounded to the east by a dense belt of trees, with further tree cover along the southern boundary and the western boundary fronting onto West Avenue.
- 1.3 The site is adjacent to residential dwellings and residential gardens to the north and south. To the south, the properties immediately abutting the site on Copsleigh Close are semi-detached, single storey bungalows although with two storey dwellings on the opposite side of the road. To the north on West Avenue, the character is again residential, largely two storey dwellings except for the immediately adjoining bungalow ("The Bungalow") which is a diminutive building set within a modest plot. To the east, the site adjoins Salfords Primary School and the playing fields thereof. The surrounding area is generally of residential character. On the opposite side of West Avenue is an area of wooded common land which is predominantly within the Metropolitan Green Belt.
- 1.4 As a whole, the application site extends to approximately 0.47ha.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application advice was sought prior to the submission of the previous planning application. Advice was given in respect of matters of principle, including the need to justify loss of the nursery/community use, and in respect of the design, scale and massing of the building, the need for landscaping to the frontage and parking. Since the previous

withdrawn application, the design/massing of the building has been revised and the number of bedrooms reduced (84 to 76).

- 2.2 Improvements secured during the course of the application: Further reductions in the footprint of the building, including narrowing the width of the central “spine” of the building and the rear “wing”. Reduction in the number of rooflights in the front roof plane. Changes to detailed design and materials, including additional tile hanging and addition of chimney features. Improvements to the drainage strategy (moving away from a pumped system on the advice of Surrey County Council) to comply with sustainable drainage principles.
- 2.3 Further improvements to be secured through planning conditions or legal agreement: Various conditions are recommended to control landscaping, materials and other works to ensure a high quality development. Highways conditions are also recommended, including a condition to secure provision of the kerb build out identified as a “worthy” project in the County Highway Authority response to the application.

3.0 Relevant Planning and Enforcement History

- 3.1 There only notable planning history on the site relates to the recent application for an 84 bedroom care home (18/00955/F) by the same applicant. This application was withdrawn by the applicant to allow for the scheme to be reconsidered and redesigned in response to officer feedback.

18/00955/F - Proposed development of an 84 bedroom specialist dementia nursing care home (use class c2) with external areas and ancillary buildings, erection of refuse store, cycle store and garden store, formation of landscaped gardens and car parking area – Withdrawn by Applicant (3rd August 2018).

- 3.2 The current building was originally permitted under 75P/0018 which granted the 270 place primary school, 30 place nursery school (which is now Lilliput) and the adjoining caretakers bungalow.

4.0 Proposal and Design Approach

- 4.1 The proposed development seeks planning permission for the demolition of the existing nursery building and the erection of a care home comprising 76 rooms with associated communal and ancillary facilities together with associated parking and communal gardens.
- 4.2 The proposed building would set back from the road frontage further than the prevailing building line. The proposed building has an “H” shaped footprint of three storeys; however, all of the top floor accommodation would be wholly within the roof.
- 4.3 To the front, the building has been designed to read as two pairs of semi-detached dwellings. Design detailing and materials would include hipped roofs, front gable and hipped bay projections, brick, tile hanging and areas of render with glazing link sections.

- 4.4 An access road and parking area served by a newly created single crossover from West Avenue would be created to the front of the building with the rear of the plot landscaped to create communal gardens.
- 4.5 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.6 Evidence of the applicant's design approach is set out below:

Assessment	The development site itself is an isolated development within a residential location. It is adjacent to a primary school and a range of housing estate development. It is well screened by dense boundary tree planting and vegetation. On the north and west boundaries, the development has a prominent frontage to West Avenue. The site is generally level. In the vicinity of the site there is a mixture of architectural styles; they present mainly face brick of render facades with pitched tile roofs over. Towards Salfords and Redhill a more commercial architectural style can be found most notably the retail parade.
	The Design Statement acknowledges the landscaped nature of the site which is contained by dense landscaping and tree cover on the site boundaries. The Statement identifies that this existing boundary landscaping will be retained.
Involvement	Pre-application advice was sought from the Council in 2017 and design of the scheme amended in response. A public consultation was held in November 2017 and an exhibition in April 2018. The Design & Access Statement summarises that the feedback was overall positive with general support for a care home on site. However, some reservations were noted including problems with drainage on Copsleigh Close, parking, traffic and congestion, access to Salfords Primary School, bin locations and height/density of the building. The applicants Design Statement also identifies that they have engaged with local health service providers, including East Surrey Hospital.
Evaluation	The Design & Access Statement and Planning Statement set out the evolution of the design of the scheme, as a result of the pre-application discussions and previously withdrawn scheme. This includes a revised footprint, amendments to the frontage buildings and improved parking layout. These changes resulted in a reduction in units from 84 to 76. A prerequisite of the

	applicant's schemes is that they must be within half a mile level walk of essential facilities and services, hence the reason for selecting the application site.
Design	The applicant's justification for the chosen design is that it adopts a traditional architecture which seeks to follow the surroundings, both in form, traditional roof lines and in the use of familiar materials. The layout provides for dedicated access to the car park for the care home, separating movements and avoiding the sharing with the adjacent school pedestrian access. The Design Statement sets out the overall design strategy which seeks to ensure that the buildings fits with the surrounding area whilst also providing a building which is designed and laid out to promote well-being of residents through use of glazing to maximise daylighting and external space.

4.7 Further details of the development are as follows:

Site area	0.47ha
Existing use	Children's nursery (D2)
Proposed use	Care Home (C2 – 76 beds)
Proposed parking spaces	30
Parking standard	BLP 2005 – 15 (1 space per 5 residents "old people's homes") BLP 2005 – individual assessment "nursing homes" Surrey standards 2012 – as above but also individual assessment

5.0 Policy Context

5.1 Designation

Urban Area
Urban Open Land
Flood Zone 1

5.2 Reigate and Banstead Core Strategy

CS1(Presumption in favour of sustainable development)
CS4 (Valued townscapes and historic environment)
CS10 (Sustainable development)
CS11 (Sustainable construction)
CS12 (Infrastructure delivery)
CS14 (Housing needs of the community)
CS17 (Travel options and accessibility)

5.3 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation	Pc2G, Pc4, Pc6
Housing	Ho9, Ho13, Ho16, Ho21
Community Facilities	Cf1
Movement	Mo4, Mo5, Mo6, Mo7
Utilities	Ut4

5.4 Other Material Considerations

National Planning Policy Framework	
National Planning Practice Guidance	
Supplementary Planning Guidance	Developer Contributions SPD Affordable Housing SPD Local Distinctiveness Design Guide
Other	Human Rights Act 1998 Public Sector Equality Duty Community Infrastructure Levy Regulations 2010 (as amended) Conservation of Habitats and Species Regulations 2010

6.0 **Assessment**

6.1 The application site is situated in the urban area on a site which is designated as Urban Open Land. The buildings on site were formerly used as a privately run children's nursery and are thus considered to represent a community use.

- 6.2 The main issues to consider are therefore:
- Principle of redevelopment (Urban Open Land and loss of community use)
 - design and impact on the character of the area
 - effects on the amenity of neighbouring properties
 - access, parking and highway implications
 - trees and landscaping
 - CIL and infrastructure contributions
 - other matters

Principle of redevelopment

- 6.4 As above, the site is designated in the 2005 Borough Local Plan as an area of Urban Open Land. In this respect, Policy Pc6 – which seeks to resist the loss of UOL – is relevant. Furthermore, given the most recent use of the site as a children's nursery (D2 class), it is considered to represent a community use and thus the provisions of Policy Cf1 of the Local Plan and CS12 of the Core Strategy, are also applicable.
- 6.5 Whilst Policy Pc6 generally resists development on Urban Open it is important to recognise that the application site is already previously developed, being occupied by the former nursery building. In this respect, Policy Pc6 acknowledges that the extension or replacement of existing buildings included within UOL can be acceptable, subject to consideration of the contribution that the UOL makes to local character and visual amenity and to the functioning of any essential community, social or educational use.
- 6.6 In its current state, it is considered that any contribution that the site makes to local character and visual amenity largely derives from the frontage landscaping along West Avenue, as well as the backdrop of mature trees which surrounds the site. The "open" areas within the site are not widely appreciable nor is there a strong sense of "relief" from the built up area beyond the effect which the front boundary landscaping offers.
- 6.7 The proposed development would retain and supplement the existing tree planting and hedging along the West Avenue frontage, whilst also maintaining the mature tree cover along the boundaries to Copsleigh Close and the adjoining school. In this sense, it would maintain those features which currently contribute to the greenness of the site and the wider visual amenity. The proposed buildings, whilst increasing to two storey, would be generously set back from the site and, given their scale, would not appear unduly obtrusive in behind this frontage landscaping. With the previously developed nature of the site in mind, it is not considered that replacing the existing building on site would detriment local visual amenity.
- 6.8 In terms of the functioning of essential community, social or educational use; the previous children's nursery operation ceased some time ago and the site has been vacant since. Whilst in operation as a children's nursery, the site was effectively privatised and only open for use by those children attending the nursery. The situation would, in essence, be no different were the site redeveloped to a care home since the communal spaces around the building would remain available to predominantly residents/occupants only. In this context, it is not considered that redevelopment would prejudice any essential community, social or educational function, particularly given the associated discussion below regarding the prospects of a continued community use of the site.
- 6.9 Taking the above factors into account, it is concluded that the proposals to replace the existing building with a care home would not conflict with the provisions of Policy Pc6 of the adopted 2005 Borough Local Plan. It is also noted that, through the Council's emerging Development Management Plan, the vast majority of the site proposed to be removed from Urban Open Space designation.

- 6.10 Turning to the loss of community use, Policy Cf1 and CS12 both seek to protect existing community facilities, except where it can be demonstrated that there is no need for the facility or that it is surplus to requirements. In this case, the applicant has provided details of the marketing exercise undertaken following the closure of the previous children's nursery. This marketing was undertaken by established local commercial property agents (Hurst Warne); the property was offered on the open market and, as part of this, approaches were made directly to community users and leisure operators to establish whether there was a demand. The marketing summary from Hurst Warne confirms that the marketing exercise generated no serious interest or proposals from parties looking to continue a children's nursery or community use, and no offers from such operators.
- 6.11 In addition to this, the information supplied by Hurst Warne confirms that they were instructed to market the premises due to a steady downturn in the business of the previous children's nursery which had experienced declining numbers of attendees due to increased competition. This resulted in the operator choosing to consolidate their operations into one facility. This commentary is supplemented by a plan which demonstrates that there are a number of alternative facilities in close proximity in Redhill, Reigate, Earlswood and Horley.
- 6.12 Overall, it is therefore concluded that the evidence supports the fact that there is no reasonable prospect of a continued children's nursery use on the site, or – as demonstrated by the marketing exercise – any realistic prospect of an alternative community use on the site. Furthermore, the loss of the children's nursery use is not considered to prejudice overall availability of such services, given the wide range and number of alternatives in the surrounding area. Based on the evidence, it is therefore considered that loss of the community use is justified by reference to the requirements of policies Cf1 of the Local Plan, CS12 of the Core Strategy and the associated relevant provisions of the NPPF (notably paragraph 92).
- 6.13 In terms of the proposed care home, policy CS14 of the Core Strategy seeks to encourage provision of housing for the elderly and those with special care/support needs in sustainable locations whilst avoiding an undue concentration in any one location. The application site is considered to perform comparatively well against these considerations, being located close to major bus routes along the A23 (there is a bus stop 100m from the site), and a small parade of shops approximately 400m from the site, whilst also being close to health facilities, in particular East Surrey Hospital. Mindful of likely mobility and nature of occupants of the care home, it is considered that the site is suitably located to meet their needs; whilst also being accessible for staff.
- 6.14 With respect to “undue concentration”, the applicant has provided analysis which shows that there are no other similar care homes within 1 mile of the site and they also provide within their Operations Statement a “Care Needs Assessment” which they suggest identifies a shortfall of 120 beds within a 3 mile radius. Whilst a detailed critique of the applicant's need figure has not been carried out, the Council's own evidence submitted in support of the Development Management Plan identifies that there could be a need for up to 463 nursing care places across the borough over the next 10 years if current geographic trends are maintained. This

evidence document also suggests that the Council should “continue to permit windfall developments” for nursing care where there is easy access to appropriate facilities. Surrey County Council’s “Accommodation with Care and Support” commissioning statement for the East Surrey CCG area (which includes Reigate & Banstead), similarly identifies a need across the borough for between 22 and 391 nursing care places by 2025, even acknowledging an overall commissioning aim to “*delay the age at which people on average enter nursing care*”. Mapping contained within Surrey CC’s document corroborates the view that there is a relatively short supply of care homes within the ward within which the site is located. There is therefore a general acceptance of a continued need for nursing care homes (especially those with specialist support e.g. for dementia) and it is not considered that a care home on this site would lead to an undue concentration.

- 6.15 Based on the above, there is no “in principle” objection to redevelopment of the site for a care home as proposed.

Design and impact on the character of the area

- 6.16 The replacement building would be set back from the road frontage with West Avenue, with an area of parking and associated landscaping to the front of the building.
- 6.17 The building itself would be of H-shaped form with front and rear “wings” joined by a central spine. The proposed building would represent an increase in bulk, scale and massing compared to the existing single storey building; however, it is considered that it has been designed in such a way that the additional bulk is mitigated and, overall, the building would be compatible with the character of the area.
- 6.18 Firstly, whilst the front wing of the building would be a single wide block, this block has been successfully designed such that it would read as two semi-detached pairs, responding to the form and pattern of the other semi-detached pairs which characterise West Avenue to the north of the site. The design is considered to be effective in reinforcing the appearance of two semi-detached pairs through the use of a deeply set back “link” element and the variation in materials, both between the buildings and in terms of the link which would be extensively glazed. Adequate space would be retained to the boundaries such that the building would not unduly “fill” the plot nor appear cramped in the street scene.
- 6.19 In terms of height and scale, the proposed building would also reflect the general height of dwellings along West Avenue, which are predominantly two storeys. Whilst the proposed building would have an additional third floor of accommodation, this would be wholly contained within the roof and – to the front – would be served only by a small number of rooflights such that this accommodation would be relatively discrete and its visual effect on the street scene would be negligible. The roof accommodation in the rear projection of the building would be served more extensively by dormers; however, as these would not be highly visible within the street scene, this is not considered to be harmful.
- 6.20 As the submitted street scene drawings illustrate, the overall ridge height of the proposed building would be broadly follow that of the other semi-detached pairs to

the north on West Avenue, and would actually be slightly lower, reflecting a gentle stepping down in ridgeline which would respond appropriately to the topography of West Avenue. Coupled with the fact that the building would be set back generously from the road frontage, it is felt that – even with its greater width and massing – the building would not appear unduly dominant from public vantage points on West Avenue and the adjoining Common. Even acknowledging the bungalow next door, it is therefore considered that the proposal – by virtue of its height, scale and design – would integrate successfully into the street scene, aided by the incorporation of a subservient side “extension” to the left hand side of the building assists with the transition between the two.

- 6.21 Given the scale, set back and significant boundary tree cover, it is not felt that the building would appear dominant or conspicuous in the backdrop to Copsleigh Close, even acknowledging the change in levels.
- 6.22 The proposed care home would, by virtue of its footprint, project relatively deeply into the site. Whilst this differs from the grain of the frontage dwellings which characterise the surrounding area, it is not considered that this would be unduly harmful to the character of the area, particularly mindful of the fact that it would replace a building of considerable and deep footprint. The configuration of the proposed building, with front and rear “wings” linked by a narrower deeply recessed central spine is also considered to ensure that the depth of projection into the site would not be conspicuous in the West Avenue street scene and would be sufficiently “broken up” so as to not appear unyielding when viewed from the adjoining access to the school.
- 6.23 The design and appearance of the proposed care homes is considered to reflect the high standard of design as required by local and national policy. The hipped roof form proposed is in keeping with the buildings in the surrounding area and the gabled and hipped projections which are used to provide interest to the front elevation draw on features which can be readily found on the nearby semi-detached pairs. The proposed palette of materials – including brick, tile hanging and selective areas of render – together with details such as the chimneys responds appropriately to local distinctiveness and adds variety.
- 6.24 The siting of the building would, as described above, be set slightly further back from the road than the existing properties. A driveway and parking area would be created to the front of the building. Whilst this would introduce a degree of hardstanding and hard landscaping to the frontage, this would be screened well by retained tree cover along the frontage together with retained or replacement hedge/shrub planting for which there is ample space along the front boundary. On this basis, it is not felt that the parking area would unduly urbanise the frontage.
- 6.25 To the rear and between the “wings” of the building, the site would be landscaped to provide communal gardens for the residents. The submission proposes to retain and make use of much of the existing landscaping, particularly the dense and mature boundary tree cover, which would be supplemented by additional planting and landscaping. New tree planting along the northern boundary would help to soften and screen views of the building along the school access road. The Tree Officer was consulted on the application and confirmed that the landscaping

proposals were broadly acceptable, subject to some enhancement of tree sizes, etc. which can be secured through condition.

- 6.26 In conclusion, although the building would be markedly larger than which it replaces, the proposals have been well-designed and handled such they would appear in keeping with the pleasant suburban character of the area. The proposal is therefore considered to comply with policies Ho9, Ho13, Ho16 and Ho21 of the 2005 Borough Local Plan and policies CS4 and CS10 of the Core Strategy.

Effects on the amenity of neighbouring properties

- 6.27 The proposal would replace the existing predominantly single storey block with a two storey, H-shaped block projecting back into the site. Careful consideration has therefore been given, as required by policies Ho9 and Ho21, to the relationship with and amenities of neighbouring properties.
- 6.28 To the rear (west), the application site adjoins the playing fields of Salfords Primary School. Whilst there would be some change experienced from the school, it is not considered that the building would be unduly detrimental to the school environment or functioning thereof, particularly given the separation distances to main teaching spaces and significant intervening tree cover between the two sites.
- 6.29 To the south, the site adjoins the rear boundaries of a number of residential neighbours on Copsleigh Close. These neighbours are bungalows and the dwellings themselves are set at a lower land level than the proposed building reflecting the topography in the area. The proposed building would, at its closest point, be over 10m from the rear boundaries with these properties and over 25m from the main rear elevations. At these distances, it is not felt that the building would be overbearing upon these neighbouring properties, even acknowledging the lower level of the bungalows. For much the same reasons, and mindful of the fact that these neighbours are due south of the application site, it is not felt that the proposed building would cause material overshadowing or, or loss of light to, these dwellings. The significant intervening tree cover, which is proposed to be retained, would also act to screen the development from these neighbours. With regard to overlooking, there are only 3 first floor or above windows in the southern elevations of the building (excluding those in the central spine which would be over 25m from the boundary with Copsleigh Close). These windows serve either communal stairwells or are secondary windows to bedrooms; on this basis, a condition requiring these to be obscure glazed to negate any potential risk of overlooking is considered reasonable.
- 6.30 To the north on West Avenue, the site adjoins The Bungalow, a single storey dwelling. The flank wall of the front part of the proposed care home would be set back behind the rear elevation of The Bungalow and thus, would give rise to some degree of change for this neighbour. However, the flank wall would be approximately 9m from the side boundary of this neighbouring property. At this distance, even acknowledging the step up from single to two storeys, it is not felt that the building would be overbearing on this neighbour. Furthermore, from observations gleaned on site, it appears that the main living rooms to The Bungalow are on the northern side of the dwelling and the part of the dwelling closest to the

boundary with the application site is a garage. The proposed building would not infringe a 45 degree angle taken from the rear windows of The Bungalow; hence it is not considered that it would cause an unacceptable overshadowing to this neighbour. There are a number of windows on the northern elevations of the front and rear wings of the building. Those on the rear “wing” of the building would at the back of the site and, given this, would be sufficiently distant from The Bungalow and its rear garden area so as to not cause unacceptable overlooking. The north facing windows on the front “wing” of the building would be more directly adjacent to the rear gardens of The Bungalow and could cause some loss of privacy. However, these windows are secondary to bedrooms or serve non-habitable areas such that they could reasonably be obscure glazed to prevent any harmful effect. A condition is proposed to achieve this.

- 6.31 Other neighbours, including those further north on West Avenue, are considered to be sufficiently distant from the proposed building such that their amenity would not be materially harmed by the proposal.
- 6.32 Whilst some disturbance might arise during the construction process, this would by its nature be a temporary impact. Other environmental and statutory nuisance legislation exists to protect neighbours and the public should any particular issues arise. A condition requiring a Construction Transport Management Plan is recommended which would also assist in ensuring the construction and logistics associated with the site are appropriately managed and would not cause undue disruption. In use, it is considered that the proposed care home use of the site would be likely to generate significantly less noise and disturbance than the current lawful use as a children’s nursery.
- 6.33 Concerns have been raised in relation to the effect of the building on television signal, noting that properties are typically fixed on Reigate TX or Crystal Palace which are north-northwest and north-northeast of the site respectively. Whilst these concerns are a material consideration, it is considered that – given the height of the building (c.10m) and its distance from the aerials on most properties to the south (over 25m at the closest point and not a single unbroken flank presented along the southern boundary), it is not felt that the proposals would cause a loss or material detriment to signal quality. The building would be lower than the height of much of the prevailing tree cover along the southern boundary.
- 6.34 On this basis, whilst giving rise to a degree of change in relationship to surrounding properties, the proposal is not considered to give rise to any seriously adverse impacts on neighbour amenity and therefore complies with policies Ho9 and Ho21 of the Borough Local Plan 2005.

Accessibility, parking and highway implications

- 6.35 The development would be served by a front parking court, with space for a total of 30 vehicles which would be accessed by a new single central crossover from West Avenue.
- 6.36 Concerns have been raised in some representations regarding the adequacy of the proposed parking provision. The 2005 Local Plan incorporates standards for “old

people's home" (1 space per 5 residents) which, if applied to this proposal, would suggest a requirement for 15 spaces, but recognises that parking provision for nursing care should be assessed on a case by case basis.

- 6.37 In terms of an individual assessment, the applicant's Operations Statement indicates that the maximum number of staff on site during the day will be 31, although there will be a peak period at "handover" when this rises to 35 for a short 30 minute window. However, these figures represent all potential staff on site and do not reflect the fact that some will travel to the site by modes other than single person car trips. To supplement this statement, the application was also accompanied by a Transport Statement which analyses likely parking accumulation using data from comparable care home sites drawn from the national TRICS database. This shows that the peak parking demand would be 20 spaces. This evidence has been reviewed by the County Council who have confirmed that the approach taken is robust and thus raises no objection to the level of parking provision proposed. Based on the evidence and the expert views of the County Highway Authority, it is therefore concluded that the 30 spaces proposed are sufficient.
- 6.38 The County Highway Authority also notes that the vehicular movements generated by the proposed development are likely to be similar to those which would be generated by the existing use as a children's nursery. On this basis, it is not considered that the proposals would have an unacceptable impact on traffic and congestion. Whilst concerns have been raised regarding the potential overlap between the school drop-off times and the care home handover time, the effect of this would not be materially different to the current situation where there is likely to be overlap between nursery and school arrivals. Issues of inconsiderate parking by parents dropping children off at school are a matter for proper enforcement and outside the scope of this application.
- 6.39 To help promote sustainable and non-car travel to the site, the County Highway Authority (CHA) has recommended that a Travel Statement be prepared. This would be secured by condition. With regards to bus travel, the site is relative close to the nearest bus stop on the A23 which is c.100m away via an informal path which follows a desire line across the Common (the on road route is over double the distance). Whilst the informal path itself is adequate, the point at which it meets West Avenue present gives rise to a safety issue in that pedestrians emerge from this path straight onto the carriageway (as noted in the CHA consultee response). The CHA response highlights that a kerb build out on the western side of West Avenue would be required to resolve this and provide a place for pedestrians to wait before crossing. There is however currently insufficient funding for these works.
- 6.40 Ensuring that future staff of, and visitors to, the care home would have a convenient and safe route to the nearest bus stop is considered necessary to help maximise the take-up of public transport to the site. On this basis, it is considered reasonable to require the developer, through condition, to carry out the works to create the kerb build out, a position which the developer is agreeable to. Whilst this improved crossing point is necessary for the development, it would clearly also improve the situation for the public at large, including parents and children walking to Salfords Primary School and thus is an additional positive benefit of the scheme.

- 6.41 As above, the County Highway Authority has recommended that a Construction Transport Management Plan be required prior to commencement. Given the proximity to the secondary pedestrian access to Salfords Primary School, which is understood to be well used, it is considered prudent to amplify this to specify that no construction vehicles or HGV movements to and from the site should occur during school pick up/drop off times, nor should such vehicles wait in surrounding roads during these times.
- 6.42 It is therefore concluded that, subject to conditions, the scheme provides an appropriate and justified level of parking and would not give rise to adverse effects on highway safety or operation in the locality. It would also secure an improved crossing point which would not only support sustainable travel by future users of this development but also the wider public. The application is therefore considered to meet the requirements of policies Ho9, Ho21, Mo5 and Mo7 of the Local Plan 2005 and the provisions of Policy CS17 of the Core Strategy.

Community Infrastructure Levy (CIL) and requested contributions

- 6.43 The proposal, being for a C2 use specialist nursing care facility, falls outside of the uses which attract a charge based on the Council's adopted Charging Schedule and as such the development would not be liable to pay CIL. In addition, being a C2 use, the development would not attract any affordable housing requirements.
- 6.44 In terms of other contributions and planning obligations, the Community Infrastructure Levy (CIL) Regulations which were introduced in April 2010 which states that it is unlawful to take a planning obligation into account unless its requirements are (i) relevant to planning; (ii) necessary to make the proposed development acceptable in planning terms; and (iii) directly related to the proposed development. As such only contributions that are directly required as a consequence of development can be requested and such requests must be fully justified with evidence including costed spending plans to demonstrate what the money requested would be spent on.
- 6.45 As above, the applicant has agreed to construct the proposed kerb build out necessary to provide a safer crossing point from the adjoining informal path across the Common. These works can be adequately secured through a planning condition and thus a legal agreement is not necessary or appropriate (particularly mindful of the advice to that effect in national Planning Practice Guidance). No other requests have been made in this case by consultees nor otherwise identified.

Other matters

- 6.46 As described earlier in the Report, there is tree cover along three boundaries of the site, with particularly dense belts along the southern and eastern boundaries. The application was supported by appropriate arboricultural information which has been reviewed by the Council's Tree Officer. No tree removals are proposed; however, selective facilitative pruning is proposed in some instances to provide adequate clearance and general management of the trees. Some encroachment would occur into the root protection areas of retained trees, particularly as a result of the car

parking area, however, these would be limited and the arboricultural submission includes details of measures to prevent harm to their health. The Tree Officer confirms that the *“impact from the development...is mainly restricted to incursions into the root protection areas (RPAs) of retained trees. The incursions appear to be within guidelines and tolerances...and can be managed subject to suitable construction methods...”*. On this basis, the impact on tree cover is considered to be acceptable and therefore complies with Policy Pc4 of the Local Plan. Additional landscaping is also proposed within the site, including supplementary tree planting which would add to character and visual amenity. The Tree Officer has provided some advice for improvements to the initial landscaping scheme, such as more structural tree planting and native hedging; a finalised landscaping scheme addressing these points will be secured by condition.

- 6.47 The site is not subject to any specific nature conservation designations; however, the application was supported by an Ecological Assessment by Peachecology. This study concludes the site is generally of low ecological value; however, allied to the above, some of the boundary planting and trees offer some potential habitat, including for birds and commuting/foraging for bats. The building itself was examined and identified as having negligible potential for roosting bats. The assessment makes a number of high level recommendations, particularly in relation to vegetation works and future landscaping to protect and promote biodiversity. It also recommends installation of bat/bird boxes. A condition requiring the development to be carried out in broad accordance with the recommendations of this study is considered reasonable and necessary to ensure the development would not harm or result in a net loss of biodiversity as required by Policy Pc2G and CS2.
- 6.48 The site is in Flood Zone 1 according to Environment Agency Flood Maps and is therefore at low risk of river flooding. The application was supported by a surface water drainage strategy which has been reviewed by Surrey County Council (as the Lead Local Flood Authority). As on-site ground testing has demonstrated that infiltration would not be feasible, the proposals initially showed a pumped surface water system as well as two parking bays over an existing drainage ditch. Surrey CC initially objected on both these points, particularly noting the long-term maintenance liabilities of a pumped system. Following significant dialogue between the applicant and SCC, a revised drainage scheme has been secured which reverts to a controlled, gravity fed discharge into the existing surface water drainage network. The layout was also amended to relocate the two bays previously over the drainage ditch. With this additional information, Surrey CC have confirmed they have no objection subject to conditions. On this basis, the scheme meets with policy Ut4 of the Local Plan, CS10 of the Core Strategy and the requirements of national policy in relation to drainage. No objection has been raised by Thames Water in relation to the capacity of either foul or surface water infrastructure to accommodate the development.
- 6.49 An Energy Statement was submitted to accompany the application. This sets out the targets that the scheme will be designed to meet, including the requirements in Policy CS11; and the technologies and measures which will be considered to meet this. The scheme has therefore given early consideration to how the necessary

policy requirements can be met; a condition requiring BREEAM 'Very Good' to be achieved will be imposed.

- 6.50 As discussed above, the proposals would provide care and nursing care places which would help to meet the needs identified in both the Council's and Surrey County Council's evidence. The proposals would also provide employment; the applicant has indicated that 28 full-time roles and 30 part-time roles could be supported by the development, with a maximum of 35 staff on site at any one time. These social and economic benefits add weight, albeit modest, in favour of the scheme. The proposals would make use of a presently vacant, brownfield site and – in this regard – would support both the Council's "urban areas first" approach and the aims of the Framework which seeks to "*make as much possible use of previously-developed or 'brownfield' land*" and encourages local planning authorities to "*give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs*".

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location Plan	932-200	A	18.09.2018
Location Plan	932-100		18.09.2018
Proposed Plans	932-503	A	18.09.2018
Other Plan	932-102		18.09.2018
Floor Plan	932-103		18.09.2018
Elevation Plan	932-104		18.09.2018
Site Layout Plan	932-101		18.09.2018
Site Layout Plan	932-201	C	29.11.2018
Site Layout Plan	18-98125/02		23.11.2018
Other Plan	3469 006	P3	29.11.2018
Other Plan	3469 005	P4	29.11.2018
Street Scene	932-500	B	29.11.2018
Floor Plan	932-300	B	29.11.2018
Floor Plan	932-301	B	29.11.2018
Floor Plan	932-302	B	29.11.2018
Roof Plan	932-303	B	29.11.2018
Elevation Plan	932-400	B	29.11.2018
Elevation Plan	932-401	B	29.11.2018

Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels across the site and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason:

To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

4. No development shall commence including demolition or any groundworks preparation until a detailed, scaled finalised Arboricultural Method Statement (AMS) and related Tree Protection Plan (TPP) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings and hard surfacing. The AMS shall also include a pre commencement meeting with the LPA, supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan.

5. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (f) on-site turning for construction vehicles
 - (g) routing of construction and HGV vehicle movements to and from the site
 - (h) no construction or delivery vehicle movements to or from the site shall take place at school drop off or pick up times, nor shall the contractor permit any construction vehicles or HGVs associated with the development at the site to be laid up, waiting in West Avenue and surrounding roads including Copsleigh Close, Copsleigh Avenue and Woodside Way during these times
 - (i) measures to prevent the deposit of materials on the highway

Has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

6. Notwithstanding the approved drawings, no development shall commence until the detailed design of the surface water drainage scheme has been submitted to an approved in writing by the Local Planning Authority. Such details should include:
- a) A design that satisfies the SuDS Hierarchy and is compliant with the national non-statutory Technical Standards for SuDS, NPPF and Ministerial Statement on SuDS
 - b) Evidence that the proposed solution will effectively manage the 1 in 30 & 1 in 100 (+40% allowance for climate change) storm events, during all stage of the development (pre, post and during), associated discharge rates and storage volumes shall be provided using a maximum discharge rate of 4.0 litres per second (unless otherwise agreed by the Local Planning Authority)
 - c) Detailed drainage design drawings and calculations to include: a finalise drainage layout detailing the location of drainage elements, pipe diameters, levels and long and cross sections of each element, including details of any flow restrictions and maintenance/risk reducing features (silt traps, inspection chambers, etc.)
 - d) Details of how the sustainable drainage system will be protected during construction and how run-off (including any pollutants) from the development site will be managed before the drainage system is operational.
 - e) Details of drainage management responsibilities and maintenance regimes for the drawing system.
 - f) A plan showing exceedance flows (i.e. during rainfall greater than design or during blockage) and how property on and off site will be protected

Reason:

To ensure that the development is served by an adequate and approved means of drainage which would not increase flood risk on or off site and is suitably maintained throughout its lifetime to comply with Policy Ut4 of the Reigate and Banstead Borough Local Plan 2005, Policy CS10 of the Core Strategy 2014 and the requirements of non-statutory technical standards.

7. No development above ground floor slab level shall commence on site until a scheme for the landscaping and replacement tree planting of the site including the retention of existing landscape features has been submitted and approved in writing by the local planning authority. The landscaping schemes shall include details of hard landscaping, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme. The scheme shall specifically include for the retention of the existing front boundary hedging or its replacement with an appropriate alternative native hedge.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or use of the approved development or in accordance with a programme agreed in writing with the local planning authority.

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837: Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason:

To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area in order to comply with policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan 2005, Policy CS10 of the Reigate and Banstead Core Strategy 2014 and the recommendations within British Standard 5837.

8. Notwithstanding the approved plans, no development above ground floor slab level of any part of the development hereby approved shall take place until written details of the materials to be used in the construction of the external surfaces, including fenestration, balconies and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

9. The development hereby approved shall be carried out in accordance with the recommendations for mitigation, construction practice and ecological enhancement identified in the Ecological Assessment by Peachecology (report reference 0182, Issue 02, dated 28th August 2018).

Reason:

In order to preserve and enhance the wildlife and habitat interest on the site and ensure species present on the site are afforded appropriate protection during construction works with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G.

10. Notwithstanding the drawings, the development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason:

To preserve the visual amenity of the area and protect neighbouring residential amenities and those of future occupants with regard to the Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Pc4.

11. Notwithstanding the submitted plans, the development hereby approved shall not be occupied unless and until the proposed bellmouth vehicular access to West Avenue has been constructed and provided with tactile paving across the pedestrian crossing points and the removal of "School Keep Clear" markings from the carriageway of West Avenue in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.
Reason:
To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF.
12. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking/turning areas shall be retained and maintained for their designated purposes.
Reason:
To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF.
13. The development hereby approved shall not be first occupied unless and until the cycle/mobility scooter store and bin/refuse store have been constructed and provided in accordance with the approved drawings. Thereafter the approved above facilities shall be retained and maintained for their designated purpose.
Reason:
To ensure that a satisfactory external appearance is achieved of the development and to ensure facilities are in place to manage waste and encourage cycling with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13 and Reigate and Banstead Core Strategy Policy CS17.
14. Notwithstanding the approved plans, the development hereby approved shall not be first occupied unless and until an uncontrolled crossing point consisting of a kerb build out with dropped kerb and tactile paving has been constructed on West Avenue at the point where it meets the existing footpath across the Common to the A23 (as presently marked by a guard rail) in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.
Reason:
To ensure that a safe and convenient route to the nearest bus stop is available in order to encourage sustainable travel and ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005, CS17 of the Reigate and Banstead Core Strategy and the objectives of the NPPF.
15. The development hereby approved shall not be first occupied unless and until a Travel Statement for the development has been submitted to and approved in writing by the Local Planning Authority. The Statement shall be prepared in accordance with the objectives of the National Planning Policy Framework and Surrey County Council's "Travel Plans Good Practice Guide" and shall include details of:

- a) A travel information pack to be provided to staff
- b) Options available to travel to and from the site by public transport, walking and cycling and how this will be promoted amongst staff and visitors
- c) How the travel information will be kept up to date

The Travel Statement shall thereafter be implemented upon first occupation and shall thereafter be maintained and updated in accordance with the approved details.

Reason:

To ensure that opportunities for sustainable travel to and from the site are encouraged and maximised in accordance with Policy CS17 of the Reigate and Banstead Core Strategy and the objectives of the NPPF.

16. The development hereby approved shall not be first occupied until details of external lighting within the site have been submitted to and approved in writing by the Local Planning Authority. The lighting shall be installed prior to occupation and thereafter maintained in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

17. The development hereby approved shall not be first occupied unless and until details of any plant and ancillary equipment to be installed on the site, including its siting and noise specification, has been submitted to and approved in writing by the Local Planning Authority. The plant shall be installed prior to occupation and thereafter maintained in accordance with the approved details so as to prevent transmission of noise and vibration into neighbouring properties.

Reason:

To ensure that a satisfactory external appearance is achieved of the development and to safeguard the amenities of neighbouring occupiers with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

18. The development hereby approved shall not be first occupied unless and until a verification report demonstrating that the sustainable urban drainage system has been constructed as per the agreed scheme (or detail any minor variations) has been submitted to and approved in writing by the Local Planning Authority. The validation report should be carried out by a qualified drainage engineer.

Reason:

To ensure that the development is served by an adequate and approved means of drainage which would not increase flood risk on or off site and is suitably maintained throughout its lifetime to comply with Policy Ut4 of the Reigate and Banstead Borough Local Plan 2005, Policy CS10 of the Reigate and Banstead Core Strategy 2014 and the requirements of non-statutory technical standards.

19. The first floor windows in the southern elevations of the front and rear sections of the building (shown on approved drawing 932-301B as serving corridor 5, Room 37 and Room 38) shall be glazed with obscured glass and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed and shall be maintained as such at all times.

Reason:

To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

20. The first floor windows in the northern elevation of the front section of the building (shown on approved drawing 932-301B as serving stairwell 1, stairwell 2 and Room 56) shall be glazed with obscured glass and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed and shall be maintained as such at all times.

Reason:

To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

21. Within three months of the occupation of the development hereby approved, a final certificate demonstrating that BREEAM 'Very Good' rating is achieved as a minimum shall be submitted to and approved by the Local Planning Authority.

Reason:

To ensure that the development is constructed to appropriate sustainability standards with regard to Policy CS11 of the Reigate and Banstead Core Strategy 2014.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is advised that prior to the occupation of the development, adequate provision should be made for waste storage and collection. You are advised to contact the Council's Recycling and Cleansing team to discuss the required number and specification of wheeled bins on rc@reigate-banstead.gov.uk or on the Council's website at http://www.reigate-banstead.gov.uk/info/20051/commercial_waste.
3. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;

- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit. In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. With respect to the Construction Transport Management Plan required under Condition 3, the developer is strongly encouraged to engage with the adjoining Salfords Primary School in order to ensure that construction movements and activities would not prejudice the safety of parents, children and visitors to the school.
5. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see: www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme. The applicant is also advised that consent may be required under Section 23 of the Land Drainage Act 1991. Please see: www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice
6. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
7. The developer is advised that as part of the detailed design of the highway works required by the above condition(s), the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
8. The use of a suitably qualified arboricultural consultant is essential to provide acceptable supervision and monitoring in respect of the arboricultural issues in respect of the above condition. All works shall comply with the recommendations and guidelines contained within British Standard 5837.

9. The use of landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant conditions. Replacement planting of trees and shrubs shall be in keeping with the character and appearance of the locality and species selection should have a strong native or indigenous influence. There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity and long term continued structural tree cover in this area. It is expected that the replacement structural landscape trees will be of Advanced Nursery Stock sizes with initial planting heights of not less than 6m 4.5m with girth measurements at 1m above ground level in excess of 16/18cm.
10. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings.

If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigate-banstead.gov.uk/info/20277/street_naming_and_numbering

11. If the proposed site works affect an Ordinary Watercourse, Surrey County Council as the Lead Local Flood Authority should be contacted to obtain prior written consent.
12. If the proposed works result in infiltration of surface water to ground within a Source Protection Zone, the Environment Agency will require proof of surface water treatment to achieve water quality standards.
13. A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Permit enquiries should be directed to Thames Water's Risk Management Team. Further information is available at www.thameswater.co.uk/wastewaterquality.
14. There are public sewers crossing or close to the development site. The applicant is therefore advised to review Thames Water's guide in relation to working near or diverting their pipes: <https://developers.thameswater.co.uk/developing-a-large-site/planning-your-development/working-near-or-diverting-our-pipes>.
15. The verification report submitted in respect of the surface water drainage system should include details of the management company and state the national grid reference of any key drainage elements (surface water attenuation devices/areas, flow restriction devices, outfalls, etc.)

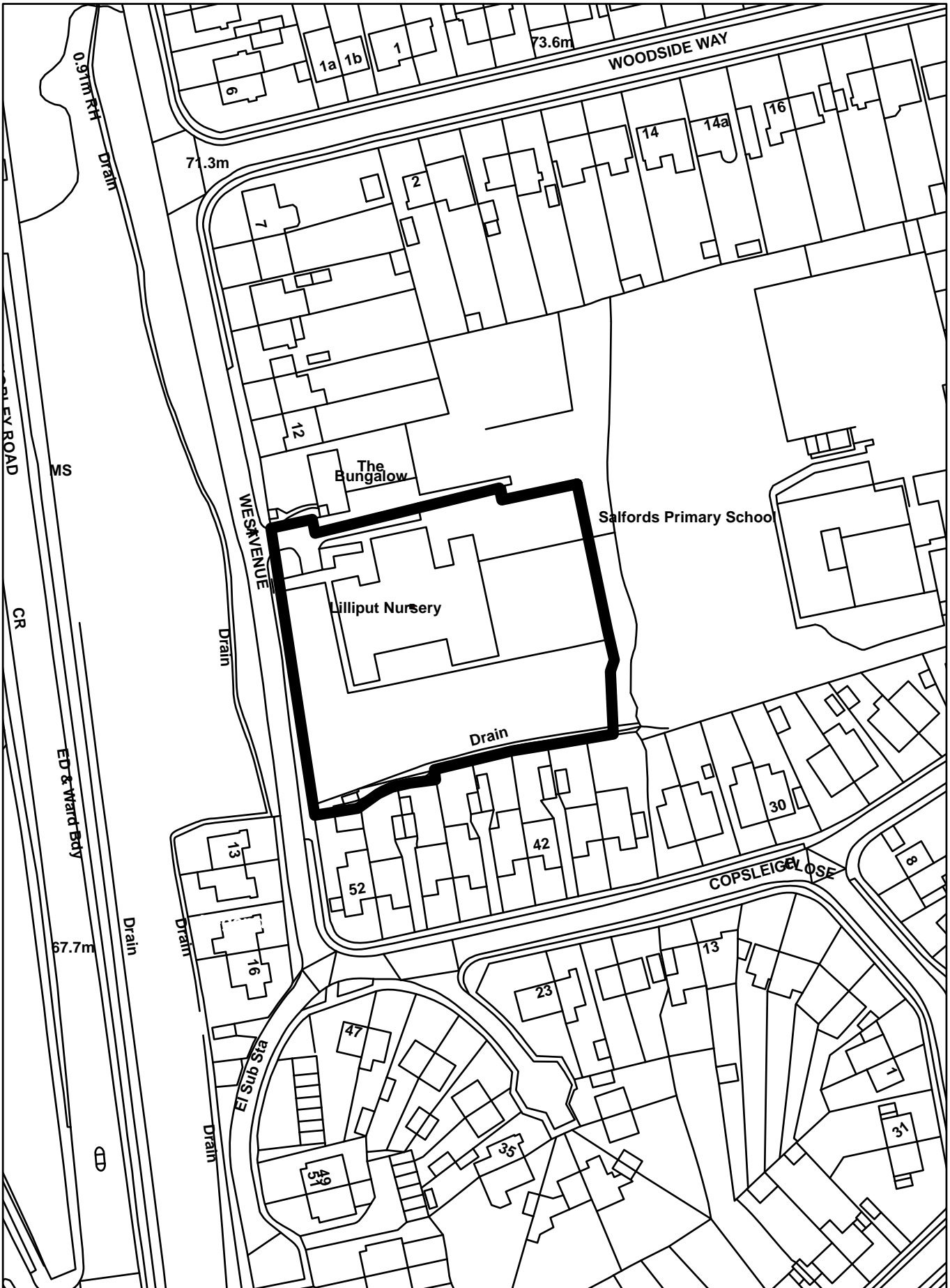
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS3, CS4, CS5, CS10, CS11, CS12, CS13, CS15, CS17, Pc2G, Pc4, Pc8, Co1, Ho9, Ho21, Mo4, Mo5, Mo6, Mo7, Mo8 and Ut4 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

18/01971/F - Lilliput Childrens Centre, Lilliput Nursery,
West Avenue, Salfords



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Check all dimensions on site before work proceeds, report any discrepancies to Architect prior to any work.

Rev.	Alterations	Date
A	REVISED SCHEME	AUG18
B	Parking Spaces Relocated	OCT18
C	Amendments following planning officer comments	NOV18

Notes:

Salfords Primary School

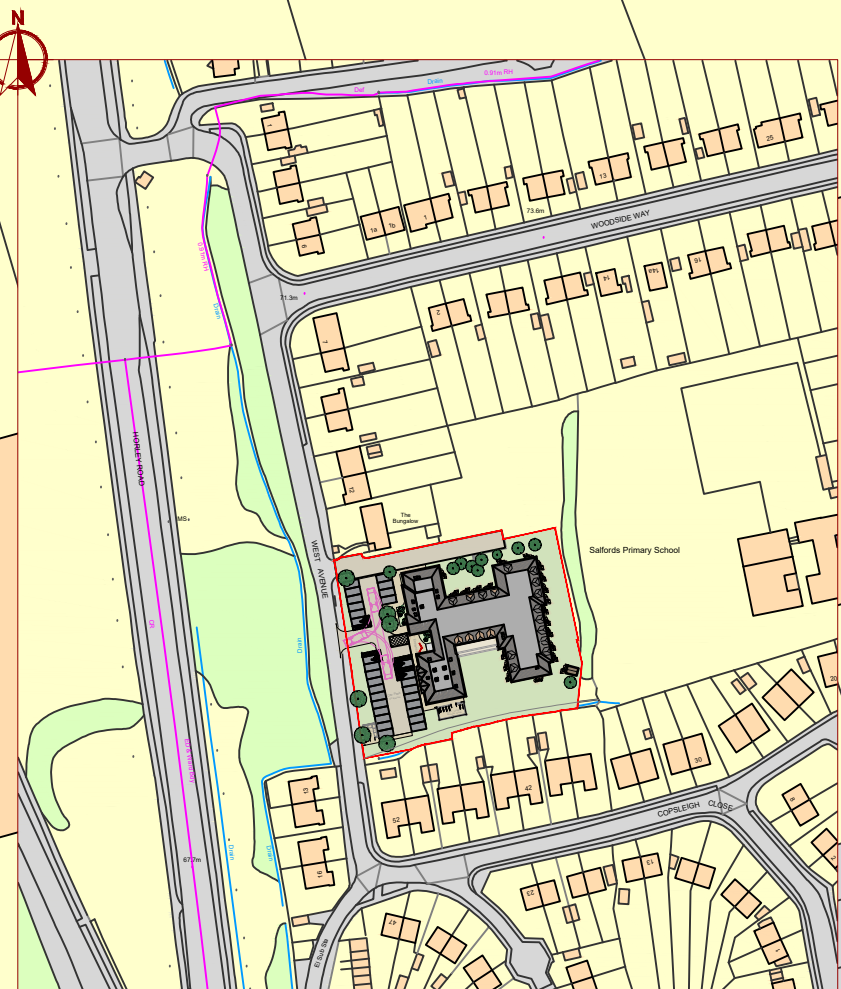
WEST AVENUE

Drain

The Bungalow

Car Park
30 Spaces

Entrance

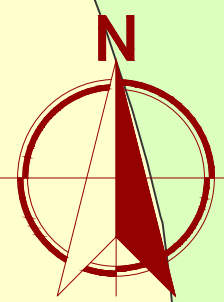



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Proposed Site Plan
Lilliput Children's Centre
West Avenue, Redhill, Surrey
RH1 5BA

Drawn	GP	Checked	GP
By	Dwg No.	932-201C	

Date AUG '18 Scale: 200 @A1





Proposed Street Scene - West Avenue



Proposed Street Scene - West Avenue Looking South



Proposed Street Scene - West Avenue Looking North

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Rev.	Alterations	Date
A	REVISED SCHEME	SEP'18
B	Amendments following planning officer comments	NOV18

Notes:



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Proposed Western & Northern Elevations

Lilliput Children's Centre
West Avenue, Redhill, Surrey
RH1 5BA

Drawn by Checked

Dwg No. 932-400B

Date Sep'18 Scale 1:100 @A1



Proposed Western Elevation



Proposed Eastern Elevation



Proposed Northern Elevation



Proposed Southern Elevation

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Rev.	Alterations	Date
A	REVISED SCHEME	SEP'18
B	Amendments following planning officer comments	NOV18

Notes:



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Proposed Eastern & Southern Elevations

Lilliput Children's Centre
West Avenue, Redhill, Surrey
RH1 5BA

Drawn by	—	Checked	—
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Dwg No.	932-401B
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Date	Sep'18	Scale	1:100	@A1
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N:\Quartum\0201 - 08020202 - Lilliput Children's Centre, Redhill, Surrey, RH1 5BA\02 DRAWINGS\01 PLANNING\02 LIVE DRAWINGS\02-401 - 402B - Proposed Elevations.dwg

Check all dimensions on site before work proceeds, report any discrepancies to Architect prior to any work.

If in Doubt Ask!

Rev.	Alterations	Date
A	REVISED SCHEME	SEP'18
B	Amendments following planning officer comments	NOV'18

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Lilliput Children's Centre
West Avenue, Redhill, Surrey
RH1 5BA

Dwg No. 932-300B

1.100
_DRAWING01_FLANNING02_LIVE DRAWING0202-300-3038 - Proposed Floor Plans.dwg



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If in Doubt Ask!		
Rev.	Alterations	Date
A	REVISED SCHEME	SEP'18
B	Amendments following planning officer comments	NOV18

Notes:

CEILING HEIGHT:

--- 2500mm

--- 1800mm

--- 1200mm



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Proposed Second Floor Plan		
Lilliput Children's Centre West Avenue, Redhill, Surrey RH1 5BA		
Drawn by	—	Checked —
Dwg No.	932-302B	
Date	Sep'18	Scale: 1:100 @A1

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Rev.	Alterations	Date
A	REVISED SCHEME	SEP'18
B	Amendments following planning officer comments	NOV18

Notes:



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Proposed First Floor Plan

Lilliput Children's Centre
West Avenue, Redhill, Surrey
RH1 5BA

Drawn by	—	Checked	—
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Dwg No. 932-301B

Date	Sep'18	Scale	1:100	@A1
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