 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:		PLANNING COMMITTEE
	DATE:		25 th November 2020
	REPORT OF:		HEAD OF PLACES & PLANNING
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AGENDA ITEM:	6	WARD:	Meadvale And St Johns

APPLICATION NUMBER:		20/01540/F	VALID:	10/08/2020
APPLICANT:	Whitepost Healthcare		AGENT:	Jackson Planning Ltd
LOCATION:	SHREWSBURY COURT INDEPENDENT HOSPITAL, SHREWSBURY ROAD, REDHILL			
DESCRIPTION:	Demolition of existing secure health care building (use class C2a) and construction of a mixed use scheme comprising 72 bed residential health care facility (use class C2), along with 3 x 2.5 storey terraced houses and 1 x two storey 3 bed linked detached dwelling, all with associated revised access, parking and gardens. As amended on 22/10/2020 and on 28/10/2020.			
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.				

SUMMARY

This application seeks planning permission for the demolition of the existing secure health care building (use class C2a) and for the construction of a mixed use development comprising a part two, part three and part four storey 72 bed residential health care facility (use class C2), together with 3 x 2.5 storey terraced townhouses and a 3 bed two storey linked detached dwelling. The proposals also show a revised access arrangements for the proposed nursing home, appropriate car parking for each element and amenity areas for future residents.

The site is currently occupied by Shrewsbury Court, a secure mental health hospital. The site is located in the urban area where the principle of redevelopment is acceptable.

The existing use of the site, as a mental health hospital and a nursing home, falls within Use Class C2. The proposed use of the majority of the site for a nursing home would also fall within Use class C2 and therefore, there would be no overall loss of a community type use.

The applicants state that the current users of the mental health facility are not local. The main users of the service are from the South East Region, Central London, Kent, Medway and Sussex including Brighton Clinical Commissioning Groups. The Hospital therefore does not currently fulfil a local community function. The applicants have confirmed consultation with the Surrey and Borders Partnership NHS Foundation Trust in their long-term plan to provide new hospitals elsewhere and the facility at Shrewsbury Court is not part of their planned provision.

It is considered that the loss of the mental health hospital is justified and that the use of the mixed use site for a nursing home for the elderly, and for residential accommodation, would not conflict with the provisions of DMP Policy INF2. The proposal is for the provision of housing for older people and for those in need of care, which accords with the provisions of the DMP Policy DES7.

The site lies adjacent to Linkfield Street Conservation Area and therefore, its setting is a material consideration. The harm to the area would be considered as less than substantial, as the site is not within the Conservation Area. Less than substantial harm should be weighed against public benefits, but the NPPF also requires clear and convincing justification for harm or loss. In relation the Cottage Hospital element the proposal reuses the historic Reigate and Greensand Stone in a unified building and therefore, it is considered to preserve the setting the Conservation Area in retaining the original historic stone and removing the negative elements of later alterations.

During the course of the planning application, revised plans have been submitted which address concerns raised by the Council's conservation officer on the originally submitted scheme, both with regards to the main nursing home proposal, but also with regards to the proposed block of flats, formerly proposed for the parcel of land on Ranelagh Road. The scheme now proposes a terrace of three dwellings for the Ranelagh Road parcel, a form of development which is considered acceptable.

The proposed building would be of L-shaped form with the principle elevation facing Shrewsbury Road and a wing running towards Ranelagh Road. The proposed building would range in height from 2, to 3 and 4 storeys ranging along the sloping ground towards Whitepost Hill at the south. The lower ground floor would be below ground level. This scale and massing is felt to be appropriate given the size of site and other buildings in the area. The building would be of traditional design, taking the form of a large institutional style building and drawing elements from Surrey Arts & Crafts style including steep pitch roof, asymmetrical gabled projections, chimneys and areas of tile hanging and render which are considered to be successful in breaking up the elevations. The materials selection is appropriate to the area and would reinforce local distinctiveness.

The scale, form and design of the proposed dwellings would be appropriate for each location. Each dwelling would be provided with appropriate off-street parking and amenity space. The impact on the amenities of neighbouring properties has been carefully considered and would be acceptable.

A total of 19 parking spaces are proposed to serve the nursing home development with a further 8 for the proposed dwellings. This level of parking is underpinned by

staff surveys in the existing hospital and, for the proposed dwellings with reference to the adopted parking standards. The evidence has been reviewed by the County Highway Authority who has confirmed that the proposed level of parking is acceptable. The proposed access and level of vehicular movements generated by the proposed use is considered acceptable and would not result in a severe impact on the highway network or highway safety in accordance with the provisions of the NPPF (see para 109). To help promote sustainable travel to the site, including public transport, a Travel Plan is recommended to be secured by condition.

The proposal is not considered to give rise to any other impacts which are incapable of being adequately mitigated through conditions.

The proposals would make effective use of a brownfield site within the urban area and would provide for nursing care places, a need for which has been identified in the Council's and County Council's own evidence, as well as in the applicant's submissions and would maintain employment opportunities on the application site.

RECOMMENDATION

Subject to the completion of all documentation required to create a planning obligation under Section 106 of the Town and Country Planning Act 1990 (as amended) to secure:

- (i) A contribution of £6150 towards auditing the travel plan for a period of up to 7 years.
- (ii) The Council's legal costs in preparing the agreement;

Planning permission is **GRANTED** subject to conditions.

In the event that a satisfactorily completed obligation is not received by 28th May 2021 or such longer period as may be agreed, the Head of Places and Planning be authorised to refuse permission for the following reason

Consultations:

Highway Authority: No objection subject to conditions and the prior completion of an appropriate agreement before the grant of permission to secure a contribution of £6150 towards auditing the travel plan for a period of up to 7 years.

The County Highway Authority has assessed the application on safety, capacity and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway with respect of access, net additional traffic generation and parking. The County Highway Authority therefore has no highway requirements subject to conditions.

Environmental Health (Contaminated Land): There is some potential for contamination to be present, including asbestos within the building, and as such conditions are recommended to provide further information on asbestos within the building and on ground conditions.

Surrey County Council Drainage and Flooding: State that they have reviewed the surface water drainage strategy for the proposed development and assessed it against the requirements of the NPPF, its accompanying PPG and the Non-Statutory Technical Standards for sustainable drainage systems. Note that the following documents submitted as part of the above application have been reviewed and should be referred to as part of any future submissions:

- 1978 - L001 - P1 - Location Plan
- 1978 - L002 - P0 - Block Plan Existing and Proposed
- Flood Map for Planning Dated 10 March 2020

They state that they are not satisfied that the proposed drainage scheme meets the requirements set out in the aforementioned documents because insufficient information has been. To overcome this, the following information is required:

- Ground Investigations confirming suitability (or lack of) soakaway drainage. We expect this information to accompany both full and outline planning applications.
- A drainage design that takes into account the SuDS Hierarchy.
- Drainage calculations (MicroDrainage or similar) illustrating existing and proposed surface water discharge rates and volumes.
- As the site is a brownfield site discharge rates should be in accordance with Technical Standard S3: *'For developments which were previously developed, the peak runoff rate from the development to any drain, sewer or surface water body for the 1 in 1year rainfall event and the 1 in 100 year rainfall event must be as close as reasonably practicable to the greenfield runoff rate from the development for the same rainfall event, but should never exceed the rate of discharge from the development prior to redevelopment for that event.'* No evidence has been provided which confirms how the Technical Standard has been met.
- Justification should be provided as to why small scale SuDS features such as permeable paving or downpipe planters have not been utilised. NPPF

165. States: *'Major developments should incorporate sustainable drainage systems unless there is clear evidence that this would be inappropriate;*

- Drawings and plans:
- Topographical Survey
- Proposed Drainage Layout illustrating:
- Surface water outfall location
- Preliminary levels
- Surface water attenuation
- Anticipated exceedance routes

They go on to state that in the event that planning permission be granted, suitably worded conditions should be applied to ensure that the SuDS Scheme is properly implemented and maintained throughout the lifetime of the development.

Reigate Society: Consider that the parking for the proposed new facility is inadequate for the size of development for both staff, visitors and residents. They consider that the mixed use building is too large for the site and doesn't allow enough space on the site to fit the parking and amenity space.

Representations:

Letters were sent to neighbouring properties on 24th August 2020, a site notice was posted 1st September 2020 and advertised in local press on 3rd September 2020. Neighbours were re-notified on the revised plans for a 14 day period commencing 4th September and 29th October 2020.

8 responses were received to the original plans and a further 7 to the revised plans, including a letter of support, raising the following issues:

Issue	Response
No need for the development	See paragraph 6.3 – 6.9
Inconvenience during construction	See paragraph 6.34
Out of character with surrounding area	See paragraph 6.18 – 6.28
Increase in traffic and congestion	See paragraph 6.34 – 6.46
Overdevelopment	See paragraph 6.18 – 6.28
Noise & disturbance	See paragraph 6.33
Hazard to highway safety	See paragraph 6.34 – 6.46
Harm to Conservation Area	See paragraph 6.10 – 6.17
Poor design	See paragraph 6.18 – 6.28
Inadequate parking	See paragraph 6.34 – 6.46
Drainage/sewage capacity	See paragraph 6.57 – 6.58

Flooding	See paragraph 6.57 – 6.58
Harm to Green Belt/countryside	The site is not located within the green belt / countryside
Loss of buildings	The buildings are not designated and there is no in principle objection to their loss
Property devaluation	This is not a material planning consideration
No need for development / alternative location or proposal preferred –	Each application must be assessed on its own merits
Support - Benefit to housing need	
Support - Community/regeneration benefit	
Support - Visual amenity benefits	

1.0 Site and Character Appraisal

- 1.1 The site comprises a large site on the corner of Shrewsbury Road, Elm Road and Whitepost Hill. The site presently houses a large complex consisting of a mental health hospital and elderly care home accommodated within a number of buildings.
- 1.2 The site has evidently evolved over time and the buildings on site are of very mixed character and display evidence of numerous extensions and adaptations over time. Architecturally, the buildings are in varied style but typically of more traditional vernacular form (part Edwardian part Victorian) with pitched roofs (although some more modern flat roof elements are noted) and brick elevations although parts are in traditional Reigate stone. The frontage former “Cottage Hospital” building on Whitepost Hill and the southernmost part on Shrewsbury Road with the ground floor arched windows are the most visually interesting. The buildings are typically of two to three storeys; however, the frontage onto Whitepost Hill is more modest 1.5 storeys. There is a significant change in levels across the site such that some elements of the present building are cut into the site at an effective lower ground level compared to the surrounding roads.
- 1.3 The site comprises a 51-bed mental health hospital (Class C2A) and an 18-bed nursing home (Class C2 - currently vacant). 156 full time and part time staff are employed by the company although there is a maximum of 53 staff members on site during the day and 13 overnight. There are four dedicated parking spaces on site. Vehicular access to the site is from Shrewsbury Road. There is also accommodation for staff on site which comprises 7 x 1 one bedroom bedsits with shared amenity space. Occupants are

independently registered for Council Tax. These bedrooms are fully occupied. Shrewsbury Court Independent Hospital was registered with Care Quality Commission CQC in 2013 for the following regulated activities:

- assessment of medical treatment for persons detained under the Mental Health Act,
- treatment of disease, disorder or injury
- diagnostic and screening procedures.

1.4 The last CQC inspection in 2017 found that all services were rated as good, however, this assessment does not comment on the fabric and efficiency of the building.

1.5 The site is on the edge of the urban area at the transition to countryside within the Metropolitan Green Belt beyond to the south and open land of Redhill/Earlswood Common to the east. Land immediately to the east of the site, including the pleasant grass verge fronting Elm Road, falls within the Linkfield Street, Redhill Conservation Area and in close proximity on the western side of the site is the Shaws Corner Conservation Area. The remainder of the surroundings of the site are residential in character, comprising a mixture of detached and semi-detached properties, typically two storeys, in a relatively tight urban grain. This includes a mixture of Victorian era properties along with some more modern flatted blocks on Elm Road and Shrewsbury Road.

1.6 Land levels across the site change quite markedly with the southern part of the site representing the highest point. There is some modest landscaping on site.

2.0 Added Value

2.1 Improvements secured at the pre-application stage: Pre-application advice for the redevelopment of the existing hospital was sought on two occasions in 2017 and in early 2020. On the second occasion, advice was given with regards to the scale and form of the redevelopment proposals, and in particular the need for a reduction in height of the proposed replacement nursing home. The submission of revised plans as part of the pre-application consultation resolved many of the issues raised with regards to the height of the building. Concerns were also raised with regards to the proposed block of flats and with regards to parking.

2.2 Massing forms were provided at pre application discussion stage but without elevation detail. In terms of the consideration on design and impact on the character of the area, including the Conservation Area the following were noted. The discussions at that stage must be regarded as broad-brush without the benefit of elevations, heritage statement or a detailed site visit.

2.3 Whilst it was noted that the scale was likely to be acceptable, it was not possible comment on detailed design issues due to the outline sketch form proposals. There would be a need to consider appropriate materials that

respect the local vernacular, provide a fenestration hierarchy and would need carefully designed dormer windows at roof level. It was noted that the Reigate stone should be reused as a locally important finite resource. There was a need for meaningful landscaping around site to help soften built form respect transition to the countryside and conservation area.

2.2 Improvements secured during the course of the application: The proposals have been amended to remove the proposed three storey block of flats from the site and replace that part of the proposals with three townhouses. Other detailed changes have been made to the design of the proposed nursing home in consultation with the Council's conservation and design officer, and to the car parking provision.

2.3 Further improvements could be secured through the use of conditions.

3.0 Relevant Planning and Enforcement History

3.1	13/00682/F	Secure external area for patients incorporating a high security mesh panel fence system with a glass lean to canopy. Relocation of existing control access system	Approved 08/06/2013
3.2	12/01730/F	Secure external area for patients enclosed by 3.6metre high security mesh panel fence system. Relocation of the existing control access system to maintain a safe and secure access in and out of the site	Refused 30/11/2012
3.3	98/00740/F	Single & double storey extension forming lobby, bedrooms (2No) & medicine store	Approved 17/03/1998
3.4	98/09400/F	Double storey extension forming reception, dining areas (2no) and lounge	Approved 01/09/1998
3.5	97/02360/F	Installation of external lift on south elevation	Approved 03/04/1997
3.6	86P/0391	Refurbishment of existing buildings. New link extension, car parking space and glazed canopy to entrance	Approved

4.0 Proposal and Design Approach

4.1 This is a full application for the demolition of existing secure health care building (use class C2a) and for the construction of a mixed use development

comprising a part two, part three and part four storey 72 bed residential health care facility (use class C2), together with 3 x 2.5 storey terraced townhouses and a 3 bed two storey linked detached dwelling. The proposals also show a revised access arrangements for the proposed nursing home, appropriate car parking for each element and amenity areas for future residents.

- 4.2 The proposed building would be of L-shaped form with the principle elevation facing Shrewsbury Road and a wing running towards Ranelagh Road. The proposed new nursing care home would utilise the sloping ground to provide accommodation at lower ground floor level which, at the southern end of the site would be below ground level. Two further full floors of accommodation are provided with a fourth storey of accommodation within the roof space. Elements at the northern and southern end of the building would be reduced to two storeys in height to provide an appropriate transition and relationship with adjoining properties to the north and with the open land to the south.
- 4.3 The gross internal area of the existing hospital is 3,866sqm. The proposed gross internal area of the proposed nursing home is 4,170 sqm. This represents an increase of 7.8% in floorspace of the C2 use.
- 4.4 The proposed nursing home would be finished in a mixture of red brick and plain clay tile hanging with reclaimed Reigate stone re-used on the two storey elements and plain clay tiles to the roof. The roofscape would feature a number of dormer windows to the roof space accommodation, whilst the internal east and south facing elevations would contain balconies and terraces for the use of residents.
- 4.5 Vehicular access to the nursing home would be taken from Ranelagh Road on the eastern side of the site. The existing access point would be modified and would provide access to parking areas in front of the building and at lower ground floor level. A total of 19 parking spaces would be provided in three locations including 2 visitor parking spaces on the Shrewsbury Road frontage and an ambulance parking space in front of the main entrance. The proposed layout includes areas of amenity space for residents on the southern and eastern side of the building, including an area over the lower ground floor car parking area which addresses the open land to the east of the site.
- 4.6 The northern part of the site would be redeveloped with a mix of housing, with a two storey linked detached dwelling on the Shrewsbury Road frontage adjacent to no. 44, Shrewsbury Road, to be provided with two frontage parking space, and a terrace of three x two/three storey town houses with roof space accommodation on a parcel of land adjacent to 49 Ranelagh Road, a two storey semi-detached property. Each of the three townhouses would be provided with two parking spaces, including a garage for the centre house and areas of private garden at the rear.
- 4.7 The proposed dwelling would be of a traditional design with brick and tile hanging to the main elevations and clay tiles to the pitched roofs.

- 4.8 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.9 Evidence of the applicant's design approach is set out below:

Assessment	The area around the site is assessed as being of mixed residential use , characterised by two storey housing and more modern infill developments of flats. The site is well-established in the hospital/community use. The site adjoins conservation areas to the south and east.
	Although no site features worthy of retention were identified, Reigate stone will be reclaimed from the existing building and re-used in the new development.
Involvement	Community views were sought by the applicants prior to the submission of the application. However, due to lockdown restrictions, the form of consultation was limited to leaflet distribution and online meetings.
Evaluation	The other development options considered were assessed at pre-application stage and were amended following consultation with Council officers.
Design	The applicant's reasons for choosing the proposal from the available options were informed by the views of council officers at pre-application stage and by the need to maintain a level of development to ensure the viability of the proposals.

- 4.5 Further details of the development are as follows:

Site area	0.39ha
Existing use	Class C2 mental health hospital and nursing home
Proposed use	Class C2 nursing home and Class C3 residential dwellings
Existing parking spaces	4
Proposed parking spaces	27

Parking standard	An individual assessment for the proposed nursing home based on occupation, staff levels etc. 2 spaces per dwelling (medium accessibility)
Number of affordable units	0
Net increase in dwellings	4

5.0 Policy Context

5.1 Designation

Urban area
Adj. Conservation Area

5.2 Reigate and Banstead Core Strategy

CS3 (Green Belt)
CS4 (Valued Townscapes and Historic Environment)
CS5 (Valued People/Economic Development),
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS12 (Infrastructure Delivery),
CS14 (Housing Needs)
CS17 (Travel Options and accessibility)

5.3 Reigate and Banstead Development Management Plan 2019

DES1 (Design of New development)
DES7 (Specialist Accommodation)
DES8 (Construction Management)
DES9 (Pollution and Contaminated Land)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
NHE3 (Protecting trees, woodland areas and natural habitats)
NHE9 (Heritage Assets)
INF3 (Electronic communication networks)

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance

Supplementary Planning Guidance

Local Distinctiveness Design Guide
Vehicle and Cycle Parking
Guidance 2018

Other

Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms. The site is within the urban area but on the edge and at the transition point to countryside within the Metropolitan Green Belt. Its immediate urban environs are typically residential and buildings of a modest scale. The site also immediately adjoins the Linkfield Street Conservation Area and the pleasant open space of Redhill Common.

6.2 The main issues to consider are:

- The principle of development
- Heritage Impact
- Design appraisal
- Impact on neighbour amenity
- Highway matters
- Impact on trees
- Community Infrastructure Levy

Principle of Development

6.3 The existing use of the site, as a mental health hospital and a nursing home, falls within Use Class C2. The proposed use of the majority of the site for a nursing home would also fall within Use class C2 and therefore, there would be no overall loss of a community type use. However, there would be a need to consider whether the loss of the mental health facility would have an impact on the balance of services of this type in the Borough. DMP Policy INF2 relates to this issue and states as follows:

Loss or change of use of existing community facilities will be resisted unless it can be demonstrated that the proposed use would not have an adverse impact on the vitality, viability, balance of services and/or evening economy of the surrounding community; and

a. reasonable attempts have been made, without success, for at least six months to let or sell the premises for its existing community use or for another community

b. facility that meets the needs of the community (see Annex 3 for details on what will be required to demonstrate this); or

c. the loss of the community facility would not result in a shortfall of local provision of this type, or equivalent or improved provision in terms of quantity and quality, or some wider community benefits, will be made in a suitable location.

6.4 In support of the application it is stated that the elderly care element (18 beds) in the Elms Care Home was closed in 2019, primarily as it was no

longer financially viable due to the outdated physical arrangements of the ward and the ability to staff them efficiently. With regards to the remaining secure mental health facility, the applicants noted that for the purposes of the policy, whilst this could be considered as is a 'community use', it should be understood that the particular use (Use Class C2a) does not provide vitality, or services or an evening economy to the surrounding community, as it is a locked facility and is inward looking rather than community-based.

- 6.5 The applicant has confirmed that they have in the past, considered other uses on the site including for the previous pre-application consultation made in 2017. A marketing exercise was carried out by CBRE, a specialist commercial property agent, on behalf of the applicant to market the hospital as a 'going concern'. Although the full details of the marketing exercise have not been made available (for reasons of confidentiality), the marketing exercise did not result in any offers for the site despite an exercise that was carried out for over 12 months including targeted marketing for particular operators. The exercise generated 5 viewings but did not result in any offers for the business. The state of the buildings was cited as the barrier to purchase. The marketing exercise included a reduction in the price by an order of £1.25 million in order to attract purchases from the initial guide price, even this did not result in any offers for the property.
- 6.6 The last criterion is that the *"loss of the community facility would not result in a shortfall of local provision of this type, or equivalent or improved provision in terms of quantity and quality, or some wider community benefits, will be made in a suitable location"*. In support of this, the applicants have confirmed consultation with the Surrey and Borders Partnership NHS Foundation Trust in their long-term plan to provide new hospitals elsewhere and the facility at Shrewsbury Court is not part of their planned provision. They state that the Trust have only placed 7 patients in the hospital in the last 11 years and that most patients in the hospital are placed from mental health care trusts outside the area, including from as far away as Brighton. The applicants state that this situation has changed temporarily as the NHS Surrey and Borders Mental Health Foundation Trust have made use of 12 mental health beds following the outbreak of Coronavirus across the country. This is a temporary solution as patients had to be housed in a Covid-19 free environment. In the longer term, the Trust has published plans for three new mental health hospitals Guildford (opened in December 2015), Chertsey and east Surrey. Their plans do not include the existing facility at Shrewsbury Court.
- 6.7 The applicants state that the current users of the facility are not local. The main users of the service are from the South East Region, Central London, Kent, Medway and Sussex including Brighton Clinical Commissioning Groups. The Hospital therefore does not currently fulfil a local community function. However, if planning permission is granted it will be able to provide care for local elderly and the wider dual use of the community rooms will start to create a community focus on the site. The applicants state that in this way, the redevelopment proposals proposal will better fulfil criterion (c) than the current provision that has no local community function.

- 6.8 In light of these comments, it is considered that the that the loss of the mental health hospital is justified and that the use of the mixed use site for a nursing home for the elderly, and for residential accommodation, would not conflict with the provisions of DMP Policy INF2.
- 6.9 DMP Policy DES7 relates to specialist accommodation, including for older people and those with other support needs. It states that the loss of existing care homes, housing for older people and housing for people with support needs will be resisted unless adequate alternative provision is provided locally, or evidence is no longer a need for the facilities, or it is not viable for continued care home use. In this case, the proposal is for the provision of housing for older people and for those in need of care, which accords with the provisions of the policy.

Heritage Impact

- 6.10 Historically the most significant feature of the site has been the former Cottage Hospital building of 1871 onwards, of Reigate Stone, in a prominent position facing the main through road to the south, Whitepost Hill and has been a landmark, featuring on postcards in the area. To the north of this is the East Surrey Hospital brick extension of 1923 in a Neo Georgian style. In Ranelagh Road on the north east side of the site is a former Nursing Home of 1938 in a flat roofed art deco style.
- 6.11 The site falls between two Conservations Areas, Linkfield Street Conservation Area abutting to the east and Shaws Corner to the West. The former cottage hospital forms a prominent link between the two conservation area and is of locally distinctive Reigate and Greensand stones. Built in 1871 and later much extended, its appearance suffered from the addition of dormers in 1906 and alterations in 1923 in brick and other materials.
- 6.12 To the north of this is the East Surrey Hospital brick extension of 1923. The 1923 is not stylistically successful and was compromised by lack of finance to complete the design, but in its positive aspects set a standard in terms of scale and locally distinctive materials such as handmade clay tiles and multistock brick which respect the setting of the Conservation Area. The former Nursing Home of 1938 has a negative contribution to the area in terms of its form but sets a scale and landscaped frontage.
- 6.13 It is noted that the buildings have suffered from ephemeral damage of dormers, poor sash window replacement, verandas and brick infilling. It was originally considered that the features on the south wing and east wing could be retained as at least two outbuildings on the south and east boundary of the site, which could serve as garden rooms or storage. However, following discussions with the applicants, it was noted that the buildings on the application site were not listed, and are not located in a conservation area, and therefore, their retention could not be insisted upon. The applicants have also made the case that neither of the former Cottage Hospital buildings could be retained without seriously impacting on the overall proposal for the care home. The following more detailed points have also been put forward as

to why the Cottage Hospital elements could not be retained in their current position .

- The ridge of the so-called 'single-storey' elements would rise to the ridge height of the main block of the care home. The distance (some 6.8m) between the two facing elevations is so close as to compromise the outlook from the proposed care home bedrooms.
- in order to make best use of the site, and to give direct access out on to garden space for as many residents as possible, the proposal is to lower the ground level in the new 'upper garden' area where the former Cottage Hospital Buildings sit, by approximately 2m. This would further increase the impact and overbearing nature of the retained buildings, whose ridge would then be 9.3m above the garden level.
- In addition, the works to create sufficient parking on site involve the formation of a semi-basement parking further reducing the possibility of retaining the former Cottage Hospital buildings in-situ. This design response is a result of the pre-application advice that looked to reduce the overall height of the building.
- The former Cottage Hospital buildings have had major alterations over the life of this site and the description of the changes as 'ephemeral damage' completely underplays the major changes that have been made to the former Cottage Hospital Buildings over recent years.
- The applicants have agreed that the Reigate and Greensand stone will be recovered for re-use either on this site or elsewhere. The proposal also includes the retention and reuse of the decorative ridge tiles if they are in good order. The applicant has also agreed to full archaeological recording prior to demolition which will be submitted to the relevant Historic Environment Record. Taken together this would be an appropriate response to the limited historic fabric and interest that remains.
- Using the test at paragraph 196 of the NPPF the assessment is that where a development proposal will lead to less than substantial harm to the significance of a designated heritage assets (as in the case here) this harm should be weighed against the public benefits of the proposal..... Given the significant public benefits of securing a community use on this site, making best use of brownfield land, securing a well-designed and purpose-built care home to cater for local needs in line with planning policy it is quite clear that the public benefits significantly outweigh the residual 'less than substantial harm' of the loss of a much altered historic structure, which sits outside the two conservation areas, and is not identified on the local list.

6.14 Following discussions with officers during the course of the application, revised plans have been submitted which show changes to the detailing of the proposed building and which incorporate the Reigate stone and the

calcareous Greensand Stone into elements of the building which address the nearby conservation area, and the Whitepost Hill frontage.

- 6.15 The Council's conservation Officer refers to DMP Policy DES1: Design of new development which requires that "All new development will be expected to be of a high quality design that makes a positive contribution to the character and appearance of its surroundings" and, inter alia, "Promotes and reinforces local distinctiveness and respects the character of the surrounding area, including positive physical characteristics of local neighbourhoods and the visual appearance of the immediate street scene."
- 6.16 The proposal is adjacent to Linkfield Street Conservation Area and therefore its setting is a material consideration. The harm to the area would be considered as less than substantial, as the site is not within the Conservation Area. Primarily, there would be a setting issue. Less than substantial harm should be weighed against public benefits, but the NPPF also requires clear and convincing justification for harm or loss. In relation the Cottage Hospital element the proposal reuses the historic Reigate and Greensand Stone in a unified building and therefore is considered to preserve the setting the Conservation Area in retaining the original historic stone and removing the negative elements of later alterations.
- 6.17 The Conservation officer has therefore confirmed that he is satisfied that the local distinctiveness and Conservation Area aspects have been acceptably resolved subject to the recommended conditions.

Design appraisal

- 6.18 DMP Policy DES1 relates to the Design of New Development and requires new development to be of a high quality design that makes a positive contribution to the character and appearance of its surroundings. New development should promote and reinforce local distinctiveness and should respect the character of the surrounding area. The policy states that new development will be expected to use high quality materials, landscaping and building detailing and have due regard to the layout, density, plot sizes, building siting, scale, massing, height, and roofscapes of the surrounding area, the relationship to neighbouring buildings, and important views into and out of the site.
- 6.19 With regards to the proposed nursing home first, this would comprise a part two, part three and part four storey building which responds to the sloping site with the lower ground floor inset into the ground levels at the southern end of the site. The proposed layout responds positively to the opportunities for multi-level development with part of the parking provision located in a lower ground floor element cut into the sloping site and located beneath a surface level amenity area. The layout allows for reasonable level of amenity space and landscaping on the eastern side of the building adjacent to the open space to the east of the site.

- 6.20 During the course of the planning application, revised plans have been submitted which address concerns raised by the Council's conservation officer on the originally submitted scheme, both with regards to the main nursing home proposal, but also with regards to the proposed block of flats, formerly proposed for the parcel of land on Ranelagh Road.
- 6.21 In regard to general Local Distinctiveness and Design aspects the proposals have been through a long negotiation process and amended during the application submission. The pre application discussions focussed on the massing, whilst the application process has focussed on more on detailed aspects of the design that affected local distinctiveness and the setting of the Conservation Area. These have been resolved but included:
- a) A revised roof form, including addressing issues such as the angle roof and length of ridge.
 - b) Change of the flats design and form to townhouses.
 - c) Increase verticality of the sashes and solid to void proportions.
 - d) Address issue of high balcony design to integrate into the building.
 - e) Unified materials instead of over variance and more recessive colour palette.
 - f) Reduction of car dominated frontages.
- 6.22 The main Shrewsbury Road elevation would be finished in red brick with sections of reclaimed stone below a pitched roof clad in plain clay tiles. The building would be broadly the same height as the existing building on this part of the site and maintains the character of the street scene to Shrewsbury Road. On the eastern side of the site, the main elevation is set back from the street frontage with the 'end' elevation of the northern wing extending close to the frontage. This part of the building would be finished in tile hanging, providing an appropriate finish to the building.
- 6.23 The Council's Conservation and Design officer has reviewed the revised plans and his comments are noted above. He has confirmed no further objections to the revised plans subject to the imposition of conditions requiring further details of the materials to be submitted and restrictions on the construction of the proposed buildings, and restrictions on permitted development rights for the proposed dwellings.
- 6.24 The second main element of the proposals comprises a terrace of three townhouses on a parcel of land located at the northern end of the site fronting onto Ranelagh Road. These are proposed in place of a former proposal for a block of apartments. The proposed dwellings would be partly two and three storeys in height with roof space accommodation, whilst one of the dwellings would also take advantage of the sloping ground and be provided with a basement. Immediately to the north of the site is 49 Ranelagh Road, a two storey semi-detached property. There would be a gap to the northern boundary formed by the parking spaces for the which would allow for a suitable gap to be provided. The design of the building steps down the slope towards the north which provides for an acceptable relationship to the neighbouring property.

- 6.25 Each dwelling would be provided with 2 parking spaces which accords with the adopted parking standards, including a garage of a suitable size of the centre unit. The parking would be arranged both to the side and front of the properties enabling areas in front of the dwellings to be landscaped. This would result in an appropriate mixture of soft and hard landscaping to the frontage.
- 6.26 The third element of the proposals is for a linked detached two storey dwelling to be located on a small parcel of land on the Shrewsbury Road frontage, adjacent to no 44. The proposed dwelling would be of a similar design to no 44 with two full storeys of accommodation beneath a pitched roof. The proposed dwelling would feature a bay window to the ground floor front elevation and would be constructed in matching brickwork. Two parking spaces would be located to the front of the property which accords with the adopted standards. The submitted drawings show the retention of hedging at the front which would provide a partially soft landscaped setting for the proposed dwelling. In the event that permission is granted, it is considered that further details of the frontage landscaping should be submitted, and a condition is recommended.
- 6.27 The proposed dwellings would be of a traditional design with a mixture of brick and tile hanging to the elevations, and plain clay tiles to the roofs. This form of design and external appearance would complement existing development in Ranelagh Road and Shrewsbury Road. Precise details of the materials to be used could be dealt with condition in the event that planning permission is granted.
- 6.28 In summary, it is considered that the proposals have due regard to the character and appearance of the site and surrounding area and provide a building of an appropriate scale and massing to the site. In this regard, the proposals accord with DMP Policy DES1.

Neighbour amenity

- 6.29 In addition to the comments noted above DMP Policy DES1 also requires new development to provide an appropriate environment for future occupants whilst not adversely impacting upon the amenity of occupants of existing nearby buildings, including by way of overbearing, obtrusiveness, overshadowing, overlooking and loss of privacy.
- 6.30 The main impact of the proposals would arise from the relationship between the proposed dwellings at the northern end of the site and neighbouring properties immediately to the north. The proposed nursing home would be located further away from existing properties and as a result would not impact adversely on the amenities of nearby properties, by reason of overlooking, a loss of privacy or an overbearing impact. The scale of the proposed nursing home and the disposition of windows is similar to the existing hospital buildings on the site yet would be located further away from existing properties.

- 6.31 The proposed new dwelling on Shrewsbury Road will be located alongside the existing property at no.44 and would not cause any overlooking or a loss of privacy to the neighbouring property. It would be of approximately the same depth with the elevation at the rear elevation aligned with the linked property.
- 6.32 The proposed dwellings on the Ranelagh Road frontage would be located to the side of no 49, a two storey semi-detached property. Although the new dwellings would be taller than the neighbouring property, there would be good separation resulting from an existing garage to the side of no.49 and the provision of parking spaces to the side of the new dwelling.
- 6.33 To the rear, a separation distance of 20m would be retained between the rear facing first floor windows on the new dwellings on Ranelagh Road with the rear elevation of the existing and proposed dwellings on Shrewsbury Road. This level of separation is similar to the distances available between existing properties in Ranelagh Road and Shrewsbury Road which back onto each other and would not result in harm to the amenities of future residents. In this regard the proposals would accord with the provisions of DMP policy DES1.
- 6.34 Objection has been raised on the grounds of inconvenience during the construction period. Whilst it is acknowledged there may be a degree of disruption during the construction phase, the proposal would not warrant refusal on this basis and statutory nuisance legislation exists to control any significant disturbance caused during the construction of the proposal. A construction method statement could be secured by planning condition in the event that planning permission was to be granted.

Highway matters

- 6.35 The proposed nursing home would be served by a total of 19 parking spaces in three locations around the site, inclusive of two disabled bays and an ambulance parking bay. The existing access from Shrewsbury Road will be retained for the ambulance bay and two visitor parking bays, whilst the access from Ranelagh Road would lead to 17 parking bays, in front of the building and at lower ground floor level beneath the surface level amenity area.
- 6.36 Each of the proposed dwellings would be provided with two parking spaces, including a garage of an appropriate size in the case of the centre dwelling in the terrace. The site is located in an area of medium accessibility. Given the size of the dwellings proposed, ie 1 x 3 bed and 3 x 4 bed, the amount of parking proposed would accord with the adopted standards.
- 6.37 Concerns have been raised in a number of representations regarding the adequacy of the proposed parking provision and the impact of the increased traffic generation on highway safety, capacity and operation noting the existing highway arrangements within this residential area. These matters have been assessed by the County Highway Authority.

- 6.38 The Development Management Plan recognises that parking provision for residential care homes and nursing homes should be assessed on a case by case basis by means of an individual assessment.
- 6.39 The applicant has confirmed that the number of staff on site during the day would be approximately 40 per shift. However, these figures represent all potential staff on site and do not reflect the fact that some will travel to the site by modes other than single person car trips.
- 6.40 In order to determine the amount of parking required for staff and visitors, the applicants carried out a staff survey to determine how staff travelled to the site. The response showed that in a day shift of 53 staff, 14 staff (41%) drove to the site. In a night shift of 13 staff 3 drove to the site.
- 6.41 With regards to visitors, the applicants have confirmed that there are currently in the order of 10-15 visitors per day, although it is assumed not all travel by car. The applicants state that, because the nature of the mental health inpatients, these visits are mainly from health professional visits. All these visitors, who travel by car, currently park off-site with normally a maximum of 6/7 health professionals visiting the site at any one time. A good number travel by public transport as they come from Clinical Commissioning Groups in London, Kent and Sussex.
- 6.42 With regards to the proposed car parking demand, the applicant, an experienced Care Home operator, has confirmed that although the staff in the care home will be different staff, it is the same types of care assistant roles that make up the bulk of the employees. Care assistants for the proposed care home or the existing mental health hospital are similar jobs based on similar rates of pay and will attract a similar profile of employee. Therefore, they state that it is right to assume that travel patterns should be replicated from the current situation to the proposed. As noted above, the proposed care home would have a staffing complement of 40 during the day shift and 11 at night.
- 6.43 If the same modal split is anticipated, the 40 day time staff would result in a requirement for 16 car parking spaces on site, the number of which is proposed for staff use. The additional 3 spaces would be made available to visitors with a maximum of 6 visitors on site at any one time. It is also worth noting that residents of the nursing care facility will not drive or cycle. Based on the above, the development as proposed will remove a significant demand for on-street parking by providing the appropriate amount of parking on site. This is beneficial to both highway safety and residential amenity.
- 6.44 The CHA has reviewed in detail the applicant's submission. The CHA considers that the development includes adequate car parking. The residential development comprising three four bed units and one three bed unit includes 8 car parking spaces which meets R&BBC parking standards for development in medium accessible areas, such as the location of the proposed development.

- 6.45 The CHA notes that the parking for the care home element includes 19 car parking spaces. This parking provision is more than the existing mental health care use. The developer asserts that the mental care hospital and the care home are similar uses requiring staff with similar levels of experience and qualifications. This seems a reasonable assertion. The quantum of staff likely to be employed at the proposed site is to be similar if not less than the existing mental care use. Despite this the quantum of parking proposed is more than the parking provision on the current site and would accommodate likely parking demand arising from the proposed development.
- 6.46 The site includes a parking spaces for an ambulance, which would have adequate turning space. The servicing arrangements for the proposed use are likely to be the same as the current use. The CHA have recommended a condition that the developer submits a travel plan, which would require auditing. They have requested a contribution of £6150 towards auditing the travel plan. This sum would need to be secured through the prior completion of a legal agreement.
- 6.47 It is therefore concluded that, subject to conditions, the scheme provides an appropriate and justified level of parking and would not give rise to adverse effects on highway safety or operation in the locality. The application is therefore considered to meet the requirements of policy TAP1 of the Development Management Plan 2019 and the provisions of policy CS17 of the Core Strategy.

Impact on Trees

- 6.48 The Council's arboricultural officer has reviewed the submitted plans and notes that the arboricultural information submitted to support the application has been compiled by an arboricultural consultancy practice that undertakes works within the borough on a frequent basis. The information has been compiled in accordance with the advice guidance and recommendations within British Standard 5837:2012 Trees in relation to design, demolition and construction -Recommendations. Trees have been assessed adopting the criteria from section 4 and table 1 of the above standard.
- 6.49 There are a small number of trees on site and some are directly lost to the development. These trees are categorised 'B' in the submitted data and comprise 2 silver birch and 1 cherry. All are small domestic plantings. These trees are numbered T3, T4 and T5.
- 6.50 The loss of category 'B' trees is generally considered to be contrary to DMP Policy NHE3 unless the benefits for development outweigh their loss. In this instance the loss of these trees can be easily mitigated by replacement planting providing enhancement to the local and wider landscape for the long term. The replacement planting whilst mentioned within the submitted arboricultural information would be secured through a landscape condition imposed, should planning permission be granted.

- 6.51 There are no significant incursions into root protection areas of retained trees that would result in any long lasting or adverse effects on the retained trees.
- 6.52 The development will require significant services and drainage routings. This information is rarely available at this stage of the process and the design of these services is normally undertaken post decision. Due to the significant increase in underground services this matter will need further consideration and most probably a collaborative design will need to be reached with the engineer and retained arboricultural consultant.
- 6.53 The submitted arboricultural information does provide information on the prestart meeting and key stage supervision required but does not provide any information on the monitoring frequency. The Tree Protection Plan provides information of tree planting; however, this matter will be dealt with via the landscape condition. Trees sizes mentioned within the TPP document will need to be increased to a minimum of ANS (Advanced Nursery Stock) sizes to mitigate the loss of the category 'B' trees on site.
- 6.54 The Council will require a 'finalised' AMS and TPP in respect of the drainage and service designs and monitoring frequency which would normally be set at the prestart meeting, but I believe should be set out within the finalised AMS.

Impact on Bio-diversity

- 6.55 The application is supported by a Preliminary Bat Roost Assessment dating from 2016 and an updated survey from June 2020. This identified numerous features within the buildings that would be suitable to support roosting bats. However, no bats or evidence of bats was recorded during the inspection of the buildings and no bats were recorded emerging from or re-entering the buildings during the three dusk emergence or dawn re-entry surveys carried out in August 2016.
- 6.56 Due to the date of the original survey an update survey was conducted with a site visit to undertake the preliminary bat roost inspection of the three buildings at Shrewsbury Court in June 2020. The buildings were inspected from ground-level and from flat roofs within the Site, in order to identify potential roosting features (PRF) within them such as gaps beneath tiles, soffit boxes and barge boards and access into cavity walls. Where access was possible internal roof voids were inspected for the presence of bats or evidence of roosting bats such as droppings. No bats or evidence of bats was recorded during the inspections in June 2020. Multiple PRF were, however, recorded on the main building including. The results of the building inspection are similar to those recorded in 2016. The ecologists who have been carrying out the survey work have also undertaken further emergence surveys which found no evidence of the presence of bats or evidence of roosting bats such as droppings.
- 6.57 The Bat Report makes a number of recommendations with regards to the methods to be taken during demolition and with regards to mitigation and enhancement measures. In the event that permission is granted, a condition

would be imposed which would ensure compliance with the recommendations of the Bat Report.

Flooding and Drainage

- 6.58 The site is located within Flood Zone 1 and is at low risk from flooding. The site is currently largely hard surfaced with impenetrable materials and the opportunity will be taken to install porous hard surfaces to assist surface water drainage. There is currently an overall 'very low' risk of surface water flooding across the site and this is not expected to change as a result of the development. Surface water run-off from the proposed development will drain into gulleys and to the existing surface water drainage system.
- 6.59 Foul water from the Site will discharge to the Thames Water foul water network via gravity, connecting to the existing network of sewers in the surrounding road network.

Energy, Sustainability and Broadband

- 6.52 In accordance with adopted policy, conditions are imposed to seek the installation of carbon reduction measures within the dwellings hereby permitted to secure energy savings through the use of renewable technologies where appropriate and the provision of fast broadband services for future residents to ensure that the dwellings are future proofed.

Withdrawal of Permitted Development Rights

- 6.53 Given the relatively small plot sizes for the proposed dwellings it is also recommended that permitted development rights be withdrawn for the proposed dwellings so that the Council is able to retain control of the size and design of further extensions at ground floor level and within the roof space.

Community Infrastructure Levy (CIL)

- 6.54 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would be CIL liable and, although the exact amount would be determined and collected after the grant of planning permission.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Title	Plan Number	Revision	Dated
Location Plan	L001	p0	27/07/2020
Existing Aerial Views	1596		27/07/2020
Site Topographical Survey	100A		27/07/2020
Existing Elevations	101A		27/07/2020
Block Plan	L002	p1	28/10/2020
Lower ground floor plan	L110	p2	28/10/2020
Ground floor plan	L111	p3	28/10/2020
First floor plan	L112	p2	28/10/2020
Second floor plan	L113	p3	28/10/2020
Site/ Roof Plan	L114	p5	28/10/2020
Proposed Elevations 1 of 2	L115	p2	28/10/2020
Proposed Elevations 2 of 2	L116	p2	28/10/2020
Main car park/entrance layout	L117	p1	28/10/2020
Site Sections	L120	p1	28/10/2020
Townhouses- plans and site plan	L130	p5	28/10/2020
Townhouses- elevations	L131	p5	28/10/2020
Combined plan	L132	p2	28/10/2020

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. Notwithstanding the approved drawings, the proposed external finishing materials and details shall be carried out using the external facing materials and details specified below and there shall be no variation without the prior approval in writing of the Local Planning Authority;

- a) The roof and tile hanging shall be of sandfaced plain clay tiles (except for those roofs specified as slate on the drawings which shall be of natural slate) with clay ridge tiles and bonnet tiles to hips, details and samples of which shall be submitted to and approved in writing by the Local Planning Authority before any work above ground floor slab level. The tile hanging shall have a sprocket to the base and all elevations above eaves level shall be tile hung. Winchester cut

detail is not permitted on the tile hang, with all tiling run straight to the edge. The roof above the stonework elevations shall have banded tiled roofs of 4 rows of arrowheads to 6 rows plan with decorative clay ridge tiles above.

- b) Details of all external doors shall be submitted to and approved in writing by Local Planning Authority before any work above ground floor slab level. There will be an expectation for external doors to be of a painted timber type detailing and appearance where possible and all doors shall be set back behind the reveal at one brick depth.
- c) All bargeboards to the residential elements shall have architraved bargeboards. Box ends are not permitted.
- d) All brickwork shall be of sandfaced brick or simulated, with the main walling brick being of multi-stock brick to match existing with red brick quoins and detailing. Details of the external brickwork shall be submitted to and approved in writing by Local Planning Authority before any work above ground floor slab level.
- e) Any photovoltaics or solar panels shall be situated in the crown roof below ridge height.
- f) All windows shall be white vertically sliding sashes or side hung casements, with external glazing bars, and set back behind the reveal at one brick depth. Details of the windows shall be submitted to and approved in writing by Local Planning Authority before any work above ground floor slab level.
- g) All window and door heads and arches shall be of gauged brick.
- h) All gutter fascias shall be no more than two bricks depth but gutter fascias shall be omitted for the stone elevations and dormers to ensure a thin eaves appearance.
- i) Any rooflights shall be black conservation rooflight with a single vertical glazing bar.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

5. No development shall commence including any demolition or groundworks preparation until a detailed, scaled 'finalised' Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of any service routings and drainage runs required for the approved development. The AMS shall also include a pre commencement meeting, supervisory regime for their implementation & monitoring frequency with an agreed reporting process to the LPA.. All works shall be carried out in strict accordance with these details when approved.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies NHE3 and DES1 of the Reigate and Banstead Borough Local Plan adopted September 2019.

6. No development shall commence on site until a scheme for the landscaping and replacement tree planting of the site including the retention of existing landscape features has been submitted and approved in writing by the local planning authority. The landscaping scheme, which is expected respect the setting of the Conservation Area, shall include details of hard landscaping, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or use of the approved development or in accordance with a programme agreed in writing with the local planning authority

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837. Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies NHE3 and DES1 of the Reigate and Banstead Borough Local Plan 2019, and all relevant British Standards relating to soft landscape including BS8545:2014 and British Standard 5837:2012

7. The development hereby permitted shall not commence until details of the design of a surface water drainage scheme have been submitted to and approved in writing by the planning authority. The design must satisfy the SuDS Hierarchy and be compliant with the national Non-Statutory Technical Standards for SuDS, NPPF and Ministerial Statement on SuDS. The required drainage details shall include:
 - a) The results of infiltration testing completed in accordance with BRE Digest: 365 and confirmation of groundwater levels.
 - b) Evidence that the proposed final solution will effectively manage the 1 in 30 & 1 in 100 (+40% allowance for climate change) storm events, during all stages of the development. If infiltration is deemed unfeasible, associated

discharge rates and storage volumes shall be provided using a greenfield discharge rate to be agreed with SCC as LLFA.

c) Detailed drainage design drawings and calculations to include: a finalised drainage layout detailing the location of drainage elements, pipe diameters, levels, and long and cross sections of each element including details of any flow restrictions and maintenance/risk reducing features (silt traps, inspection chambers etc.).

d) A plan showing exceedance flows (i.e. during rainfall greater than design events or during blockage) and how property on and off site will be protected.

e) Details of drainage management responsibilities and maintenance regimes for the drainage system.

f) Details of how the drainage system will be protected during construction and how runoff (including any pollutants) from the development site will be managed before the drainage system is operational.

Reason: To ensure the design meets the national Non-Statutory Technical Standards for SuDS and the final drainage design does not increase flood risk on or off site.

8. Prior to the first occupation of the development, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority. This must demonstrate that the drainage system has been constructed as per the agreed scheme (or detail any minor variations), provide the details of any management company and state the national grid reference of any key drainage elements (surface water attenuation devices/areas, flow restriction devices and outfalls).

Reason: To ensure the Drainage System is designed to the National Non-Statutory Technical Standards for SuDS.

9. Notwithstanding the submitted plans no part of the development shall be first occupied unless and until the existing access to Ranelagh Road has been modified and provided as a bellmouth access with:
- a) tactile paving at the pedestrian crossing points,
 - b) pedestrian sight lines measuring 2 metres by 2 metres on both sides of the access,
 - c) a means within the private land of preventing private water from entering the highway,
 - d) parking restriction on the highway either side of the access

in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority and thereafter the pedestrian visibility zones shall be kept permanently clear of any obstruction between 0.6 metres and 2.0 metres high above the ground and there shall be no obstructions between 0.6 metres high and 2.0 metres high above the ground long the Ranelagh Road site frontage.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework

2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

10. Notwithstanding the submitted plans and with the exception of the northern side of the dropped kerb access adjacent to the northern boundary as shown on the submitted plans no vehicle shall access the site unless and until the proposed dropped kerb vehicular accesses to Ranelagh Road have been provided with:

- a) 2m by 2m pedestrian sight lines on both sides of each access
- b) a means within the private land of preventing private water from entering the highway
- c) Parking restriction on the highway either side of the access

in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority and thereafter the pedestrian visibility zones shall be kept permanently clear of any obstruction between 0.6 metres and 2.0 metres high above the ground and there shall be no obstructions between 0.6 metres high and 2.0 metres high above the ground long the Ranelagh Road site frontage.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

11. Notwithstanding the submitted plans and with the exception of the northern side of the dropped kerb access adjacent to the northern boundary as shown in the submitted plans no vehicles shall access the site unless and until the proposed dropped kerb vehicular accesses to Shrewsbury Road have been with:

- a) 2m by 2m pedestrian sight lines on both sides of each access
- b) a means within the private land of preventing private water from entering the highway
- c) Relocation of the disabled spaces outside the site on Shrewsbury Road

in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority and thereafter the pedestrian visibility zones shall be kept permanently clear of any obstruction between 0.6 metres and 2.0 metres high above the ground and there shall be no obstructions between 0.6 metres high and 2.0 metres high above the ground long the Shrewsbury Road site frontage.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework

2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

12. The development hereby approved shall not be first occupied unless and until redundant access points onto Ranelagh Road and Shrewsbury Road have been permanently closed and kerbs, footway and verges reinstated in accordance with a scheme to be submitted to and approved in writing with the local planning authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

13. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for the loading and unloading of one ambulance and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking, loading and unloading and turning areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

14. Notwithstanding the submitted plans the development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing with the local planning authority for bicycles to be stored in a sheltered location. Thereafter the bicycle storage area shall be retained and maintained for its designated purpose.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17 (Travel Options and Accessibility).

15. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of any boundary hoarding behind visibility zones

- (g) vehicle routing
 - (h) measures to prevent the deposit of materials on the highway
 - (i) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
 - (k) on-site turning for construction vehicles; and
 - (i) construction hours
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy DES8 Construction Management of the Reigate and Banstead Local Plan Development Management Plan September 2019.

16. Prior to the occupation of the development a Travel Plan shall be submitted for the written approval of the Local Planning Authority in accordance with the sustainable development aims and objectives of the National Planning Policy Framework, and Surrey County Council's "Travel Plans Good Practice Guide". And then the approved Travel Plan shall be implemented upon first occupation and for each and every subsequent occupation of the development, thereafter, maintain and develop the Travel Plan to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17 (Travel Options and Accessibility).

17. The development of the care home hereby approved shall not be occupied unless and until a minimum of four of the available parking spaces for the care home are provided with a fast charge socket (current minimum requirement: 7kw Mode 3 with Type 2 connector - 230 v AC 32 amp single phase dedicated supply) and a minimum of 4 of the available spaces for the care home are provided with an electrical supply to fit an electric charging point in the future accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The condition above is required in order to reduce carbon emissions and help tackle climate change to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

18. The development of the dwellings hereby approved shall not be occupied unless and until each of the proposed dwellings are provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply) in accordance with a scheme to be submitted and approved in writing by the Local Planning

Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Reason: Reason: The condition above is required in order to reduce carbon emissions and help tackle climate change to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

19. Details of all the means of enclosure including fences, walls and railings, shall be submitted to and approved in writing by Local Planning Authority before any work above ground floor slab level. The external walls and railings to the hospital shall be in Flemish bond brick to match existing and with the wall not greater than 0.7 metres and the railings at no greater than 0.8 metres, with a total height not exceeding 1.5 metres or less.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

20. The first floor windows in the north and south side elevations of the dwellings hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level and shall be maintained as such at all times.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

21. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

22. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no enlargement works permitted by Classes A, B, C, D, and F of Part 1 of the Second Schedule of the 2015 Order or Class A of Part 2 of the Second Schedule of the 2015 Order, or their successors, shall be constructed (other than those expressly authorised by this permission) without an approved application.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

23. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
- a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
 - b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

24. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
- a) A broadband connection accessed directly from the nearest exchange or cabinet
 - b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

25. The existing Greensand and Reigate Stone shall be protected during demolition and carefully hand demolished and stored in a safe and weatherproof location for reuse in the elevations. The elevations shall be firstly constructed in the rarer Greensand with the emphasis on reuse in the south elevation and any short fall using the Reigate Stone on the site elevation. The stone shall be in stretcher bond and coursed according with consistent stone height within a layer. Any surplus stone shall be salvaged for the repair of historic buildings within the borough and shall be delivered by the applicant to a location agreed in writing by the LPA after completion of the stone elevation and before occupation of the hospital.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to

safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

26. Notwithstanding the approved drawings, before any work above ground floor slab level takes place, details of the layout of the front garden area to number 44, Shrewsbury Road and to the new house adjacent shall be submitted to and approved in writing by Local Planning Authority. The details shall ensure maximum retention of the existing hedges or new planting to supplement the existing layout where hedges are to be removed.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

27. Prior to the commencement of the development full details (and plans where appropriate) of the waste management collection points, (and pulling distances where applicable), throughout the development shall be submitted to and approved in writing by the Local Planning Authority.

All waste storage and collection points should be of an adequate size to accommodate the bins and containers required for the dwelling(s) which they are intended to serve in accordance with the Council's guidance contained within Making Space for Waste Management in New Development.

Each dwelling or flat shall be provided with the above facilities in accordance with the approved details prior to occupation of the relevant dwellings.

Reason: To provide adequate waste facilities in the interests of the amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

28. The developer must either submit evidence that the building was built post 2000 or provide an intrusive pre-demolition and refurbishment asbestos survey in accordance with HSG264 supported by an appropriate mitigation scheme to control risks to future occupiers. The scheme must be written by a suitably qualified person and shall be submitted to the LOA and must be approved prior to commencement of the development. The scheme as submitted shall identify potential sources of asbestos contamination and detail removal or mitigation appropriate for the proposed end use. Detailed working methods are not required by the scheme of mitigation shall be independently verified to the satisfaction of the LPA prior to occupation. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure that a satisfactory strategy is put in place for addressing contaminated land before development commences and to make the land suitable for the development without resulting in risk to construction workers, future occupiers of the land, occupiers of nearby land and the environment

with regard to policy CS10 of the Reigate and Banstead Borough Core Strategy and the provisions of the NPPF.

29. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. The report shall be prepared in accordance with the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

30. Prior to the commencement of development, in follow-up to the environmental desktop study report, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

31. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed inline with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or

pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

32. A . Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.

B. Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should be in accordance with CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases' and British Standard BS 8285 Code of Practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings.

Reason: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

33. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Note: Should no further contamination be identified then a brief comment to this effect shall be required to discharge this condition.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

34. No development shall commence until an Employment and Skills Plan has been submitted to and approved in writing by the Local Planning Authority. The Plan shall detail how the development will promote local training and employment opportunities during construction and include:
- Measures to ensure the developer and contractors work directly with local employment and training agencies;
 - Targets for employment of local labour
 - Targets for work experience and apprenticeships
 - Measures for monitoring and reporting outcomes against the plan to the Local Planning Authority at appropriate intervals during the development.

The development shall be carried out in accordance with the approved plan unless otherwise agreed in writing with the Local Planning Authority.

Reason: To ensure the development promotes local training and employment opportunities with regard to Policy CS5 of the Reigate & Banstead Core Strategy 2014 and Policy EMP5 of the Reigate & Banstead Development Management Plan 2019.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, to contact the Council's Neighbourhood Services team to confirm the number and specification of recycling and refuse bins that are required to be supplied by the developer. The Council's Neighbourhood Services team can be contacted on 01737 276292 or via the Council's website at http://www.reigate-banstead.gov.uk/info/20085/planning_applications/147/recycling_and_waste_developers_guidance
3. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowzers and wheel washes;

- (e) There should be no burning on site;
- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.
5. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigatebanstead.gov.uk/info/20277/street_naming_and_numbering
6. Environmental Health would like to draw the applicant attention to the specifics of the contaminated land conditional wording such as 'prior to commencement', 'prior to occupation' and 'provide a minimum of two weeks' notice'.
7. The submission of information not in accordance with the specifics of the planning conditional wording can lead to delays in discharging conditions, potentially result in conditions being unable to be discharged or even enforcement action should the required level of evidence/information be

unable to be supplied. All relevant information should be formally submitted to the Local Planning Authority and not direct to Environmental Health.

8. The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837.
9. The use of landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant conditions. Replacement planting of trees and hedging shall be in keeping with the character and appearance of the locality the inclusion of native hedging which can be 'formally' managed would be welcomed. There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity and long term continued structural tree cover in this area and to mitigate the loss of category 'B' trees on site. It is expected that the replacement structural landscape trees will be of Advanced Nursery Stock sizes with initial planting heights of not less than 4.5m with girth measurements at 1m above ground level in excess of 16/18cm.
10. If proposed site works affect an Ordinary Watercourse, Surrey County Council as the Lead Local Flood Authority should be contacted to obtain prior written Consent. More details are available on our website.
11. If proposed works result in infiltration of surface water to ground within a Source Protection Zone the Environment Agency will require proof of surface water treatment to achieve water quality standards.
12. Notwithstanding any permission granted under the Planning Acts, no signs, devices or other apparatus may be erected within the limits of the highway without the express approval of the Highway Authority. It is not the policy of the Highway Authority to approve the erection of signs or other devices of a non-statutory nature within the limits of the highway.
13. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice.

14. When a temporary access is approved or an access is to be closed as a condition of planning permission an agreement with, or licence issued by, the Highway Authority Local Highways Service will require that the redundant dropped kerb be raised and any verge or footway crossing be reinstated to conform with the existing adjoining surfaces at the developers expense.
15. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
16. The developer would be expected to instruct an independent transportation data collection company to undertake the monitoring survey. This survey should conform to a TRICS Multi-Modal Survey format consistent with the UK Standard for Measuring Travel Plan Impacts as approved by the Highway Authority. To ensure that the survey
17. represents typical travel patterns, the organisation taking ownership of the travel plan will need to agree to being surveyed only within a specified annual quarter period but with no further notice of the precise survey dates. The Developer would be expected to fund the survey validation and data entry costs.
18. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
19. The applicant is advised that as part of the detailed design of the highway works required by the above condition(s), the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
20. The developer would be expected to agree a programme of implementation of all necessary statutory utility works associated with the development, including liaison between Surrey County Council Streetworks Team, the relevant Utility Companies and the Developer to ensure that where possible the works take the route of least disruption and occurs at least disruptive times to highway users.
21. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle->

[infrastructure.html](#) for guidance and further information on charging modes and connector types.

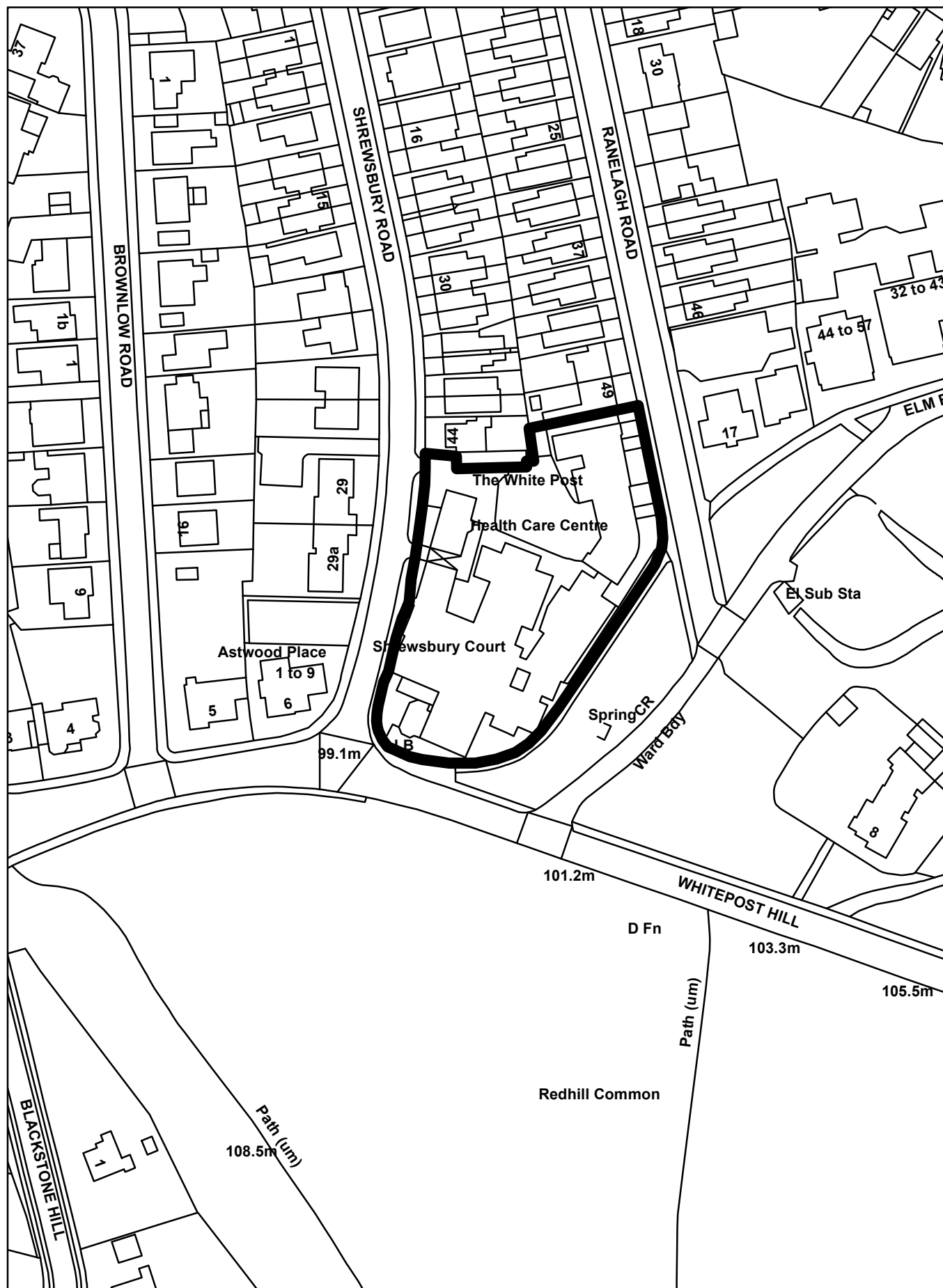
22. A pedestrian inter-visibility splay of 2m by 2m shall be provided on each side of the access, the depth measured from the back of the footway and the widths outwards from the edges of the access. No fence, wall or other obstruction to visibility between 0.6m and 2m in height above ground level shall be erected within the area of such splays.
23. The developer is advised that they shall have to provide double yellow parking restrictions on the highway through a Traffic Regulation Order which will be advertised before an order is made, all at the developer's expense.
24. In accordance with Policy EMP5 of the Development Management Plan, it is expected that the Employment and Skills Plan will seek to achieve at least 20% of the jobs and apprenticeship opportunities created by the construction of the development for local residents of the borough of Reigate & Banstead.

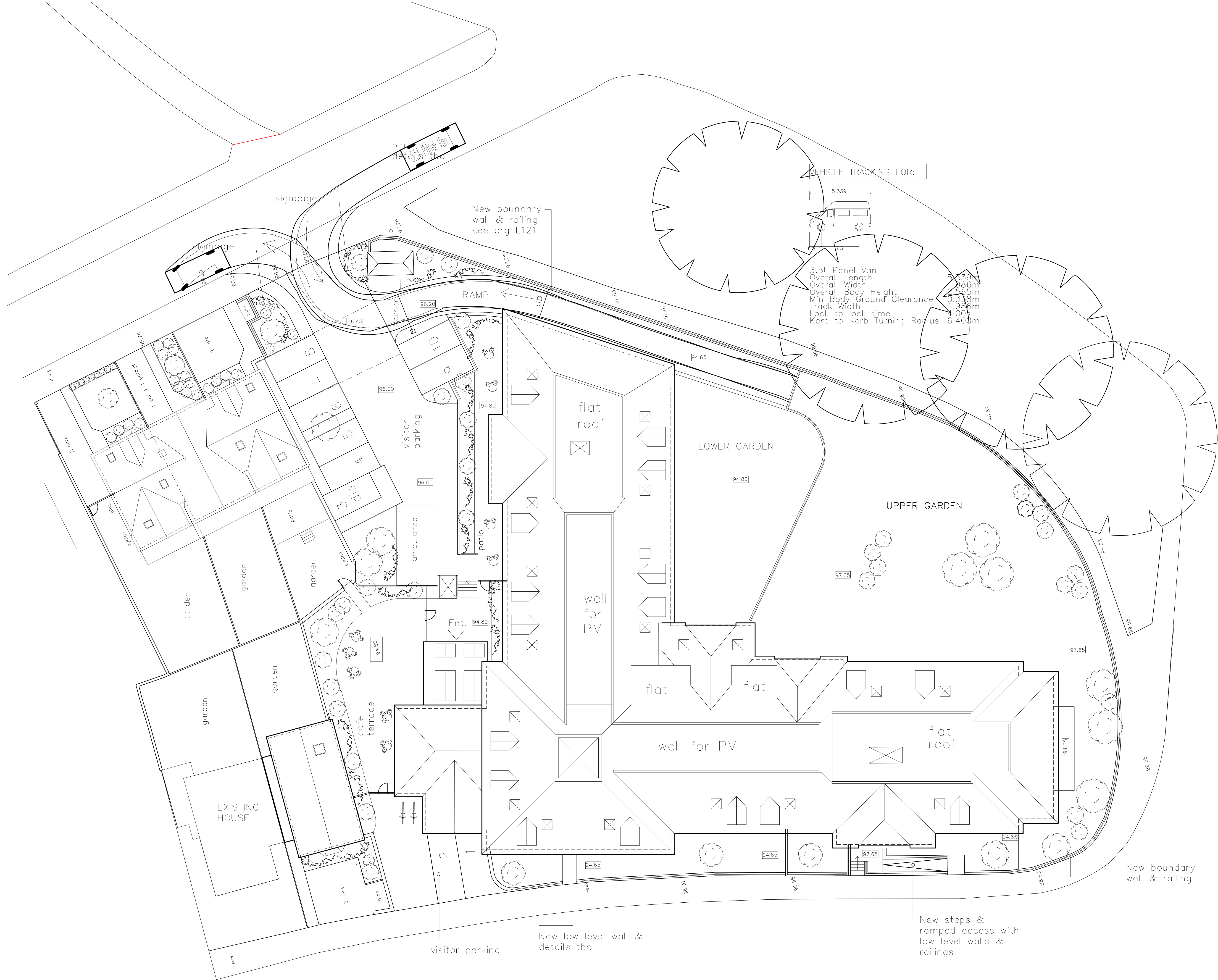
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS3, CS4, CS5, CS10, CS11, CS12, CS14, CS17, DES1, DES7, DES8, DES9, TAP1, CCF1, NHE3, NHE9, INF3, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

20/01540/F - Shrewsbury Court Independent Hospital, Shrewsbury Road, Redhill





TREES- For details of replacement tree planting see the Arboriculture Report

Rev	Description	By	Check	Date
Cox Martin Design				
Rowan Tree, Shorts Green Lane, Motcombe, Shaffesbury SP7 9PA T 01747 850972 mob: 07889 564 050 caroline@coxmartindesign.co.uk				
Client				
Whitepost Health Care Group				
Project				
Shrewsbury court				
Mixed use scheme				
Drawing				
CARE HOME				
Site/Roof plan				
Scale	Date	Author	Checked	
1:150@A1	Mar 2020	cpm	cpm	
Project No	Drawing No	Revision		
1978	L114	p5		



House
Viewed
at an angle

Care Home- viewed straight on

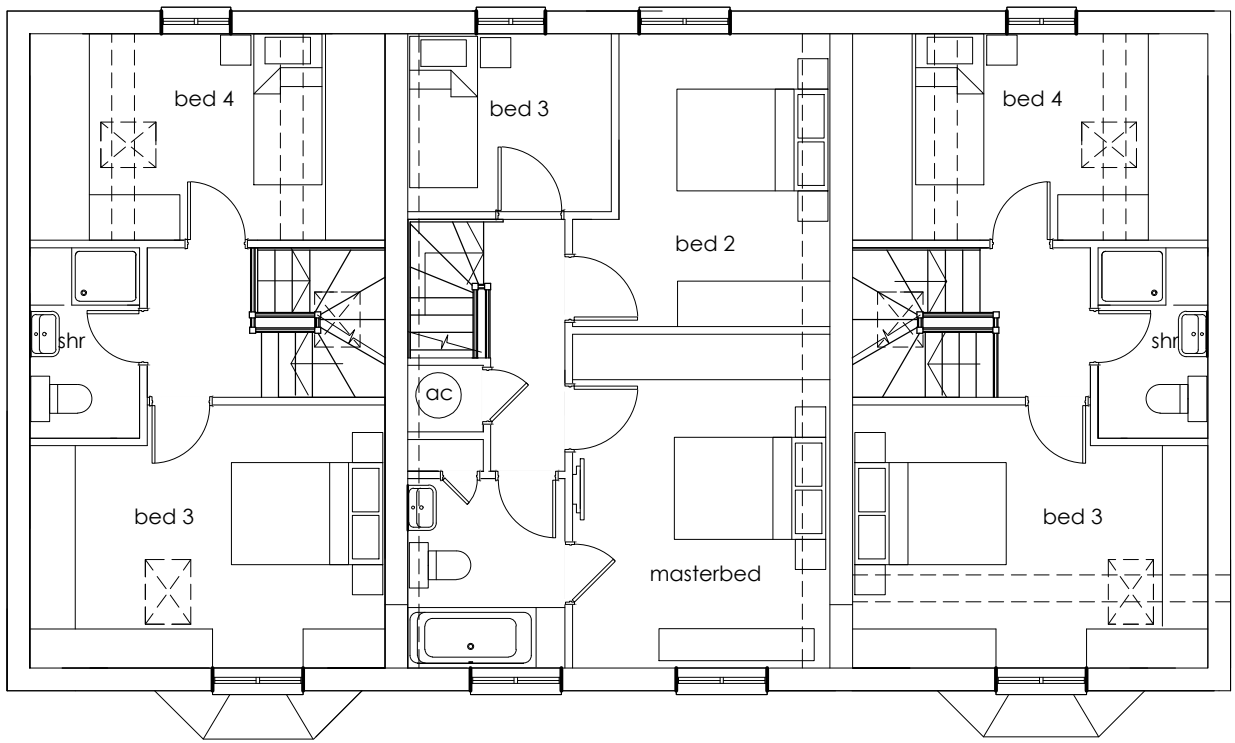
Shrewsbury Rd street scene



Care Home- viewed straight on

Apartment block
viewed at an angle

Elms Rd/ Ranelagh Rd street scene

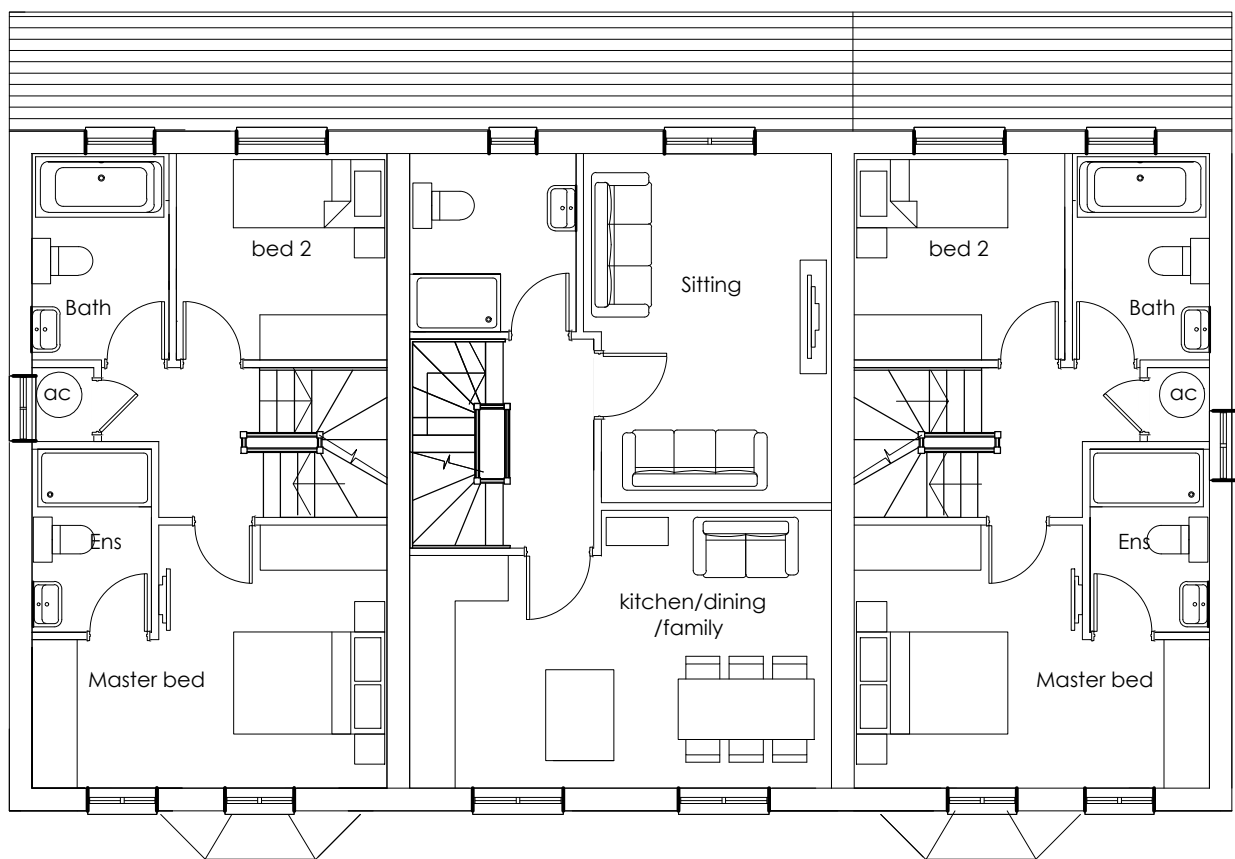


2nd fl 31.54 sqm

1st ffl - 46.81 sqm

1st ffl - 31.54 sqm

2nd floor plan

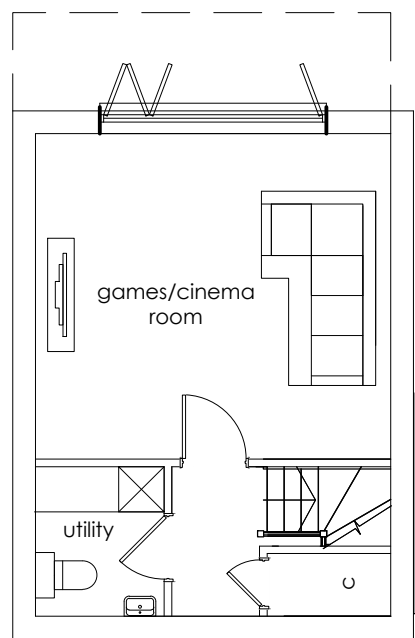


1st ffl 39.46 sqm

1st ffl - 46.81 sqm

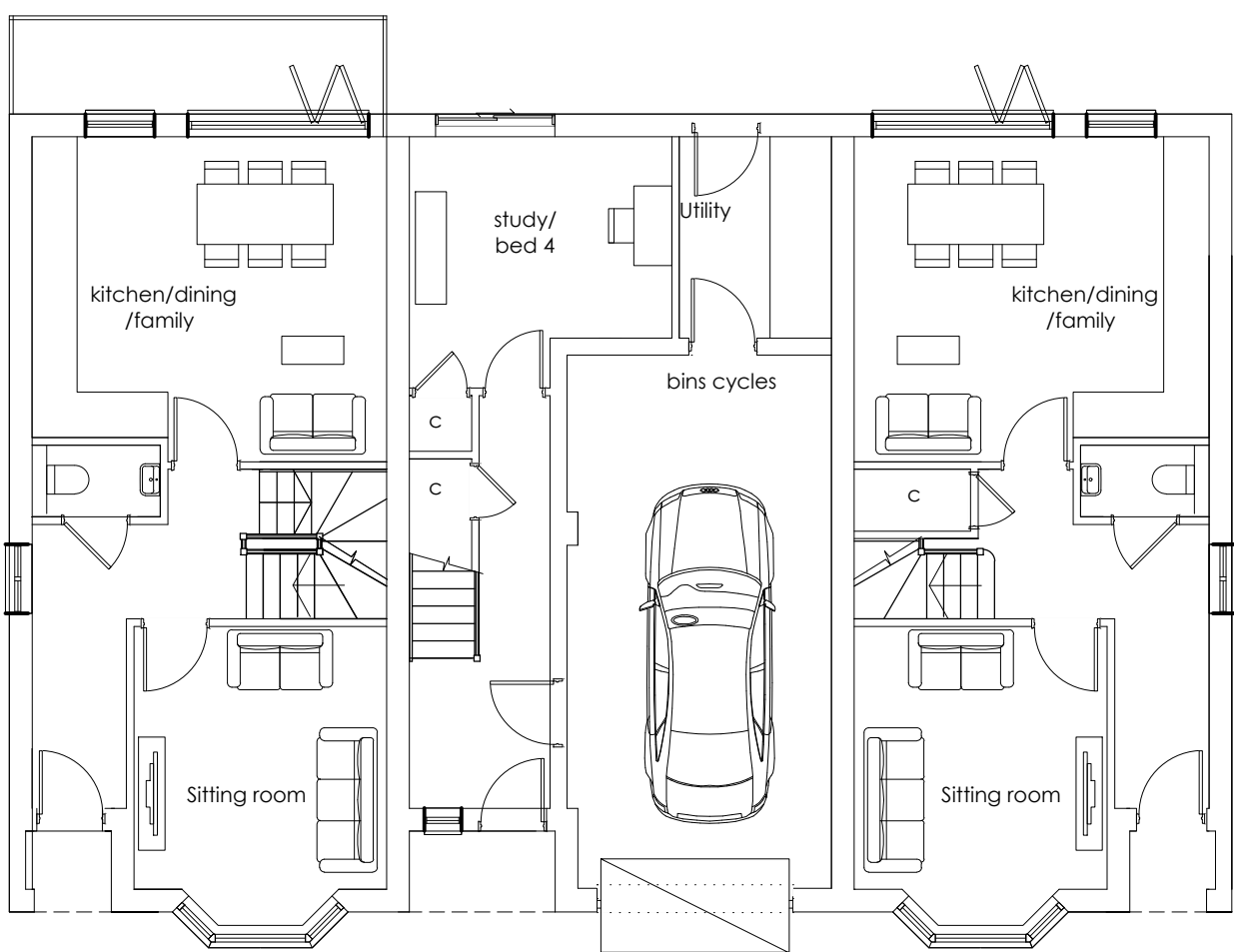
1st ffl - 39.46 sqm

1st floor plan



Lower gr - 29.98 sqm

Lower gr floor



ground - 46.11 sqm

ground - 26.50 sqm

ground - 46.11 sqm

TOTAL 147.09 sqm
TOTAL 1583 sq ft

TOTAL 120.12sqm
TOTAL 1292 sq ft

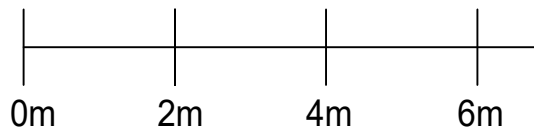
TOTAL 117.11sqm
TOTAL 1260 sq ft

Ground floor



Site & Roof Plan 1:100

Notes
Report any discrepancies to the author.
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P5	Changes to windows & roof lights	cm	cm	22.10.20
Rev	Description	By	Check	Date

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Client

Whitepost Health Care Group

Project
Shrewsbury Court
Mixed Use scheme

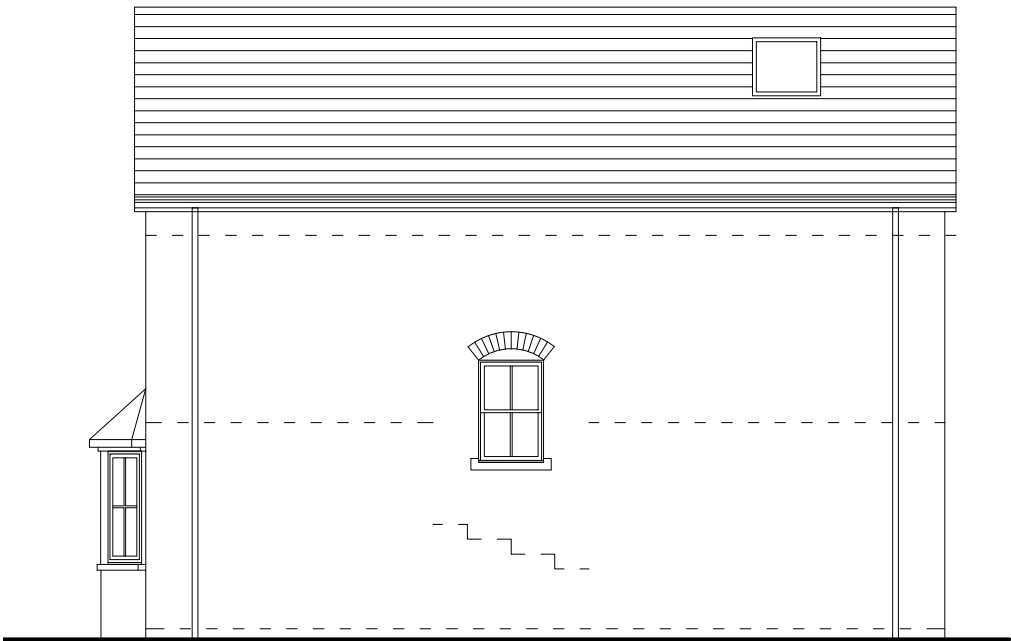
Drawing

Townhouses- plans & Site plan

Scale	Date	Author	Checked
1:100 @A1	Mar 2020	cpm	cpm
Project No	Drawing No	Revision	
1978	L130	p5	

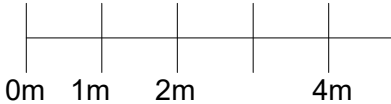


No.44 Front elevation- New dwelling

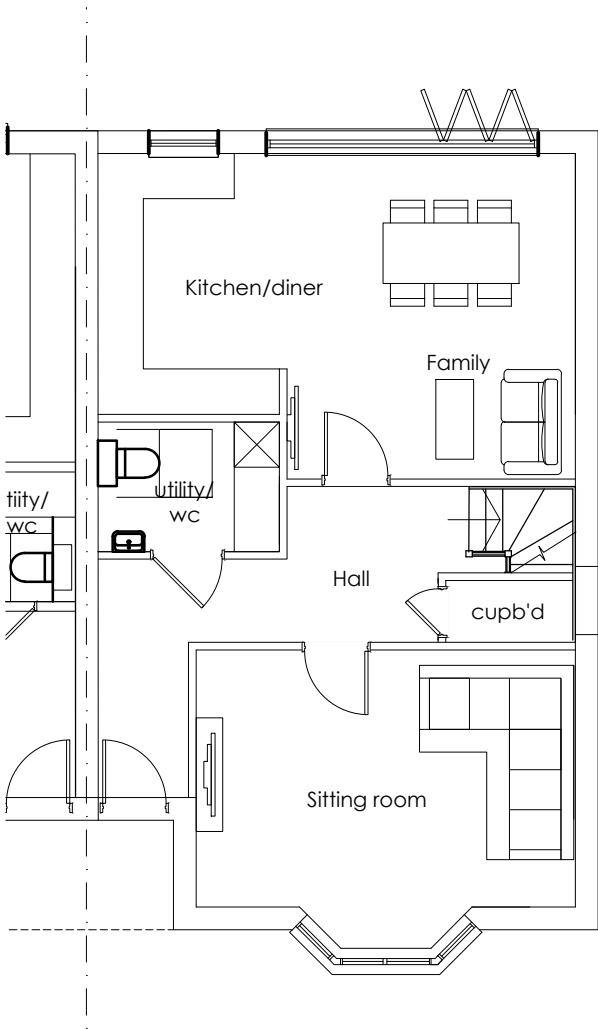


Side elevation

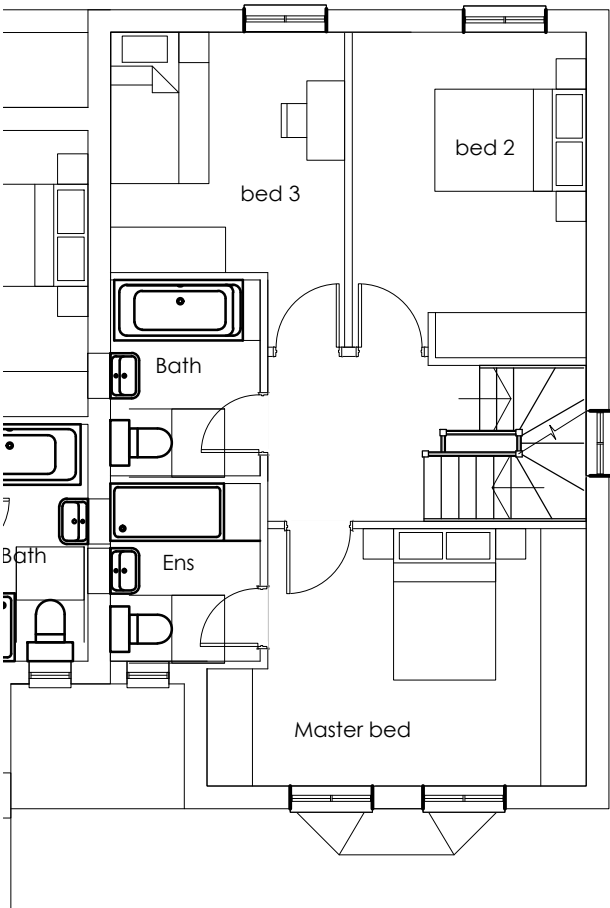
Notes
Report any discrepancies to the author.
Do not scale from this drawing.
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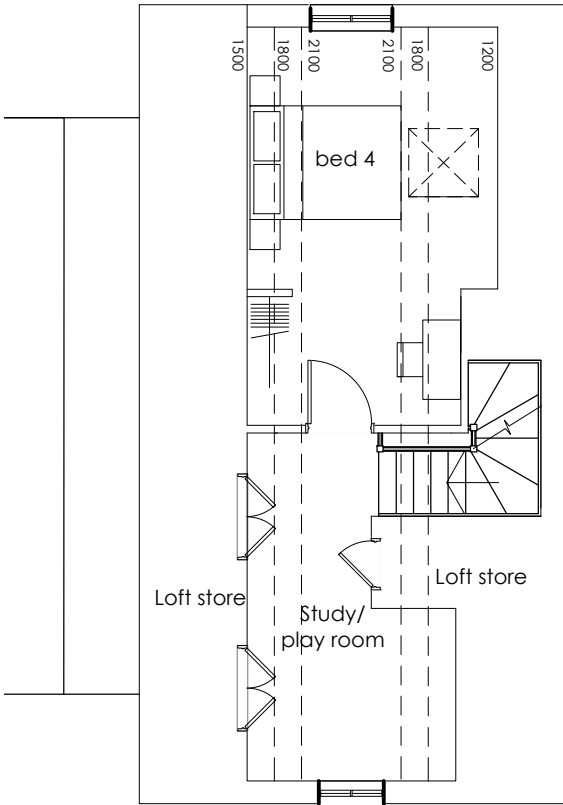
Rear elevation- new dwelling



Ground floor plan



First floor plan



Second floor plan

p2	windows rev	cm	cm	27.10.20
Rev	Description	By	Check	Date

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Client

Whitepost Health Care Group

Project
Shrewsbury Court
Mixed Use scheme

Drawing
New dwelling adj. to 44 Shrewsbury road
Plans & elevations

Scale	Date	Author	Checked
1:100 @A3	MAY 2020	cpm	cpm
Project No	Drawing No	Revision	
1978	L132	p2	



Second 103.800
First 100.800
Ground 97.800
Lower Gr. 94.800

Low level boundary wall
& railings omitted for clarity

Shrewsbury Road Elevation 1:100

Notes: for key to materials
see drgs. L115 & I116



Second 103.800
First 100.800
Ground 97.800
Lower Gr. 94.800

windows within lightwell

Underground car park & wall to lower garden
omitted for clarity

Level of upper garden

Approx. line of adjacent
road level shown dotted

Whitepost Hill Elevation 1:100

Rev	Description	By	Check	Date
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Cox Martin Design
Rowan Tree, Shorts Green Lane, Motcombe, Shaftesbury SP7 9PA
T 01747 850972 mob: 07889 564 050 caroline@coxmartindesign.co.uk
Client

Whitepost Health Care Group
Project
Shrewsbury Court

Drawing
Proposed Coloured Elevations sheet 2 of 2

Scale 1:100 @A1	Date Mar 2020	Author cpm	Checked cpm
Project No 1978	Drawing No L119	Revision p1	



Elms Rd/Ranelagh Rd (East facing) Elevation



North facing Elevation

MATERIALS:(details tba)

1. -

2. red brick plinth

3. brick with contrasting brick details, heads & quoins, stone cills

4. reclaimed local stone with red brick plinth, heads & dentil course, stone cills

5. Plain clay tiled roof

6. slate roof with reclaimed decorative ridge tiles

7. -

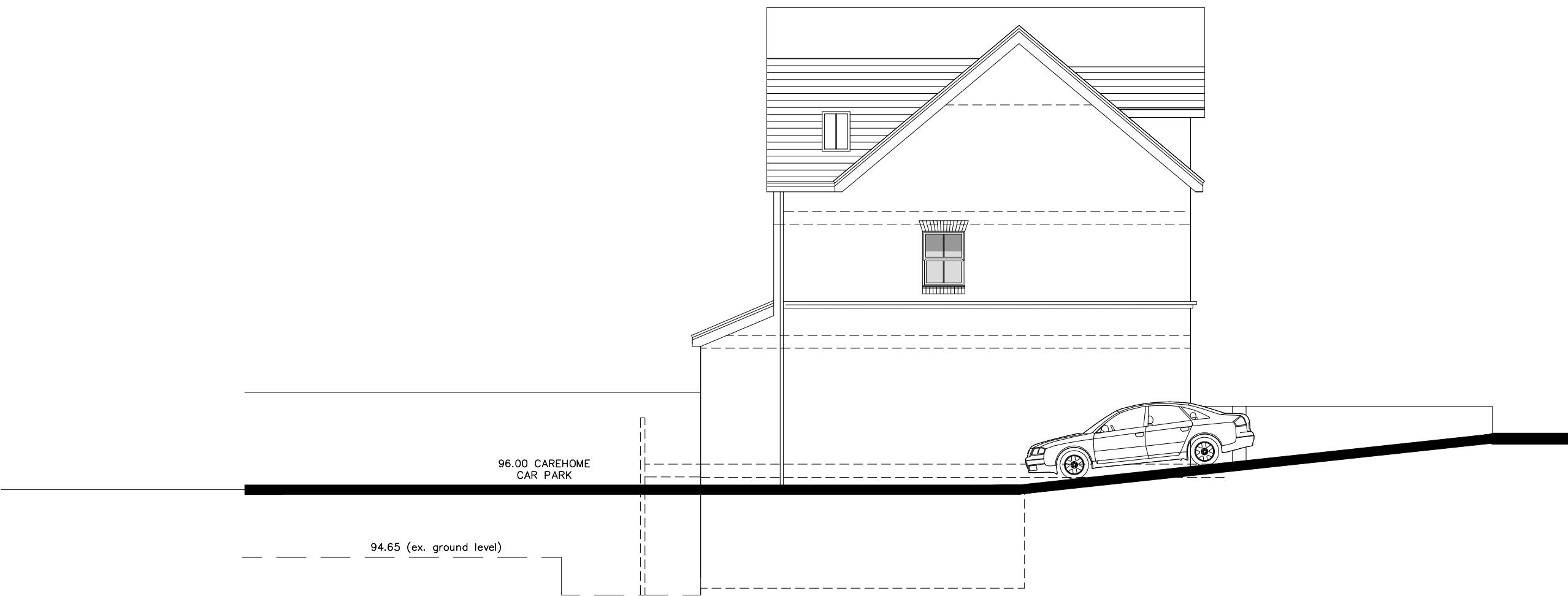
8. Plain clay vertical tile hanging

9. low level red brick boundary walls with black painted railings above

Rev	Description	By	Check	Date
Cox Martin <i>Design</i>				
Rowan Tree, Shorts Green Lane, Motcombe, Sharnesbury SP7 9PA T 01747 850972 mob: 07889 564 050 caroline@coxmartindesign.co.uk				
Client				
Whitepost Health Care Group				
Project				
Sharnesbury Court				
Mixed Use scheme				
Drawing				
Proposed Elevations sheet 1 of 2				
Scale	Date	Author	Checked	
1:100 @A1	Mar 2020	cpm	cpm	
Project No	Drawing No	Revision		
1978	L116	p2		



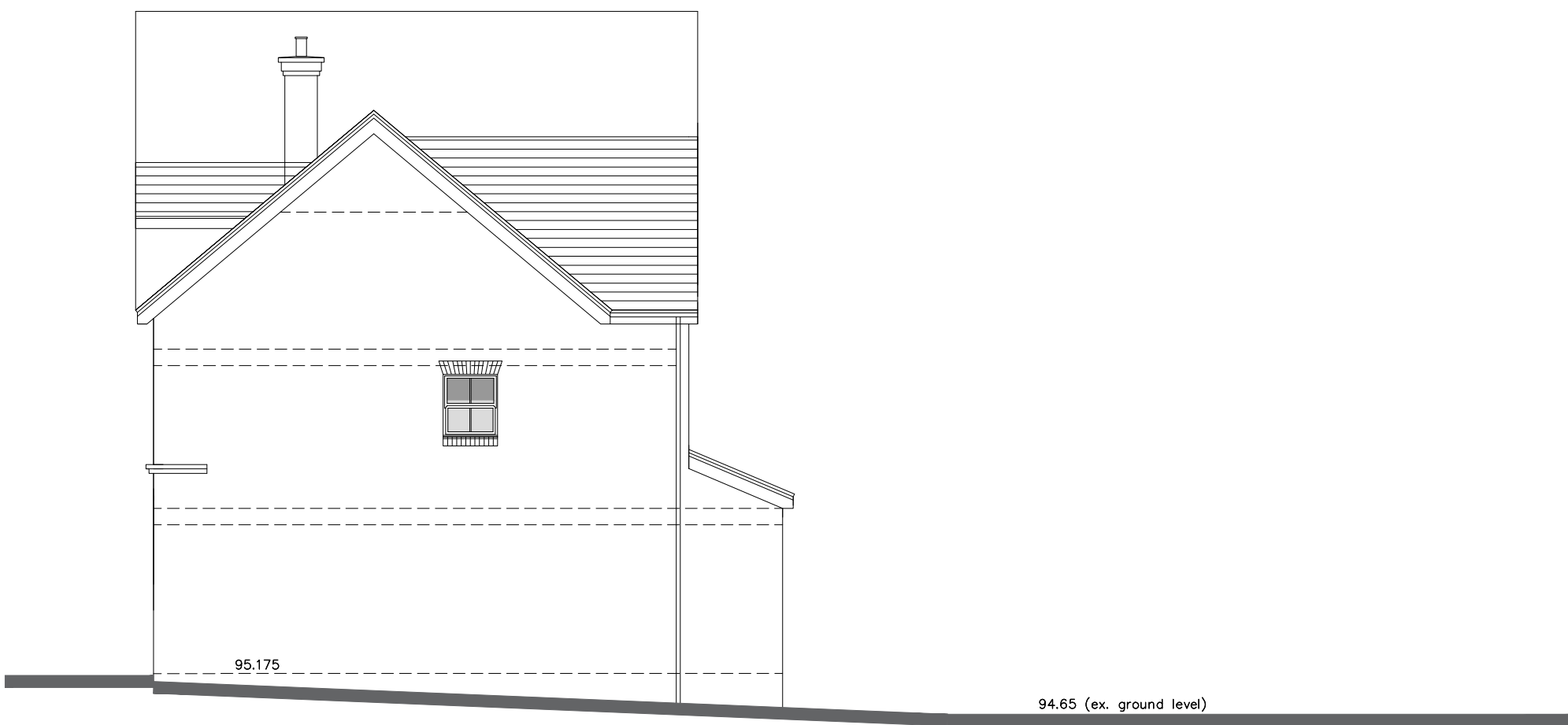
Front (East) Elevation



Side (South) Elevation



Rear (west) Elevation



Side (South) Elevation

Notes

Report any discrepancies to the author.

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0m

2m

4m

6m

P5	Changes to windows & roof lights	cm	cm	22.10.20
Rev	Description	By	Check	Date

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Client

Whitepost Health Care Group

Project
Shrewsbury Court
Mixed Use scheme

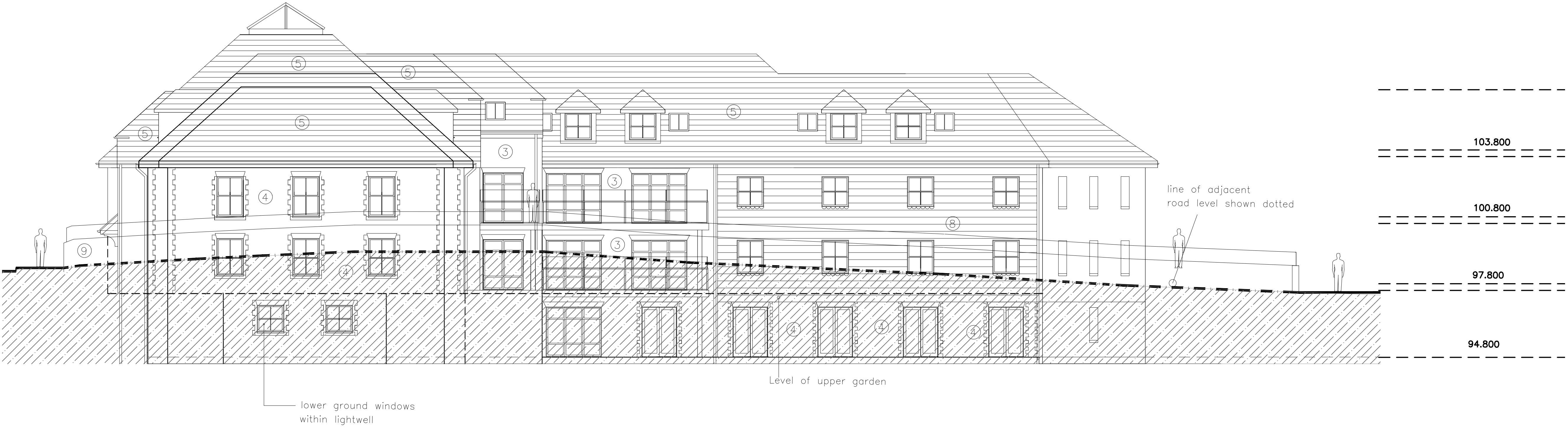
Drawing

Townhouses- elevations

Scale	Date	Author	Checked
1:100 @A1	Mar 2020	cpm	cpm
Project No	Drawing No	Revision	
1978	L131	p5	



Shrewsbury Road Elevation 1:100



Whitepost Hill Elevation 1:00

- MATERIALS: (details tba)
1. —
 2. red brick plinth
 3. brick with contrasting brick details, heads & quoins, stone cills
 4. reclaimed local stone with red brick plinth, heads & dentil course, stone cills
 5. Plain clay tiled roof
 6. slate roof with reclaimed decorative ridge tiles
 7. —
 8. Plain clay vertical tile hanging
 9. low level red brick boundary walls with black painted railings above

Rev	Description	By	Check	Date
Cox Martin Design				
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Client				

Whitepost Health Care Group

Project
Shrewsbury Court

Drawing

Proposed Elevations sheet 1 of 2

Scale	Date	Author	Checked
1:100 @A1	Mar 2020	cpm	cpm
Project No	Drawing No	Revision	
1978	L115	p2	



Second 103.800

First 100.800

Ground 97.800

Lower Gr. 94.800

Notes: for key to materials
see drgs. L115 & L116

Elms Rd/Ranelagh Rd Elevation (East facing)



Second 103.800

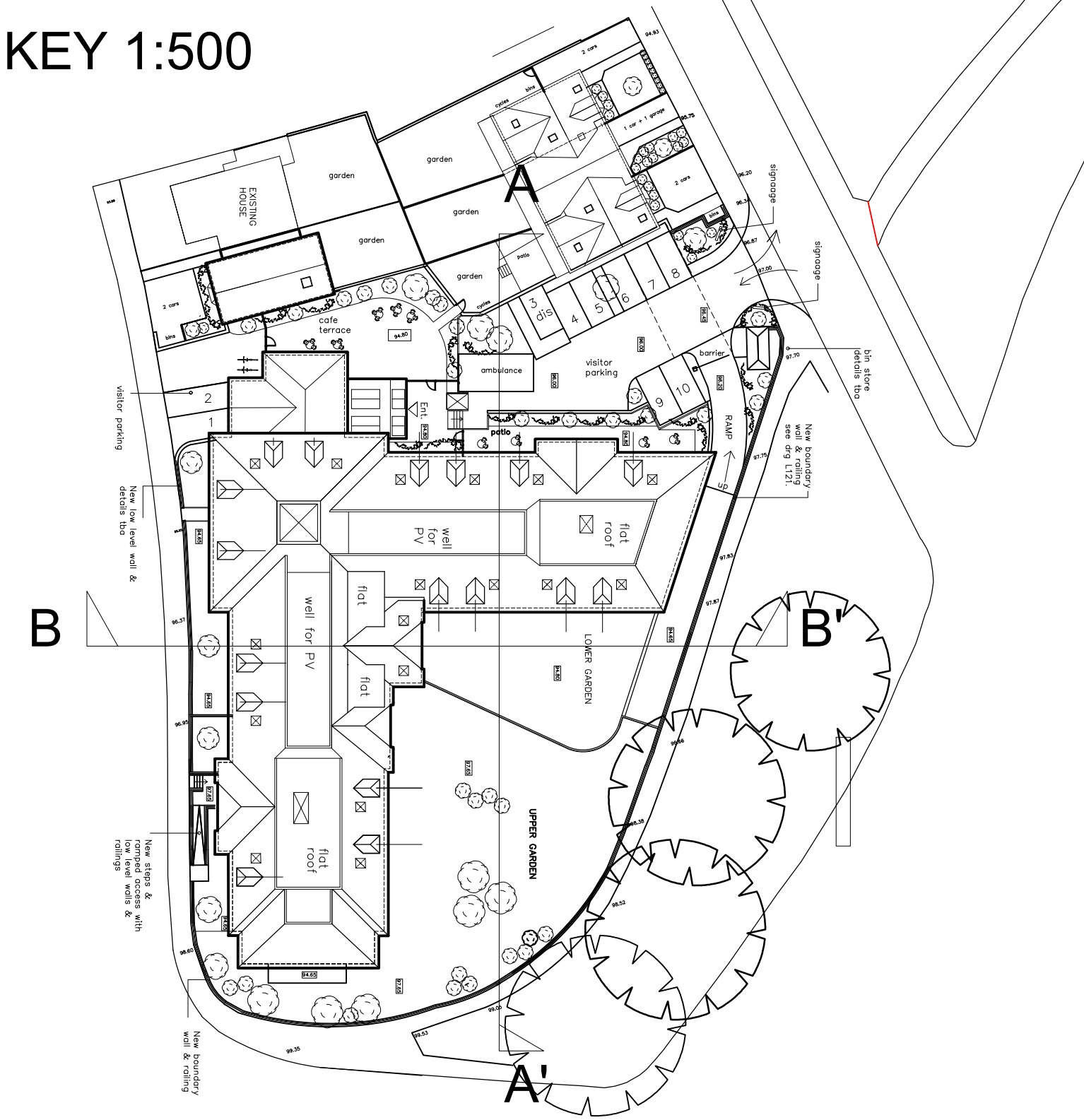
First 100.800

Ground 97.800

Lower Gr. 94.800

raised car park deck
omitted for clarity

North facing Elevation



Rev	Describe	By	Check	Date
<hr/>				
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<hr/>				
Client				
<h2>Whitepost Health Care Group</h2>				
<hr/>				
Project				
<h3>Shrewsbury Court</h3>				
<h3>Mixed use scheme</h3>				
<hr/>				
Drawing				
<h2>Site Sections</h2>				
<hr/>				
Scale	Date	Author	Checked	
1:100 @A1	Mar 2020	cpm	cpm	
Project No	Drawing No		Revision	
1978	L120		p1	