

ADDENDUM

MEETING OF THE PLANNING COMMITTEE

WEDNESDAY 30th September 2020

ITEM NO: 6

PLANNING APPLICATION: 20/00737/F – 73 CANALSIDE, WATERCOLOUR

CONDITIONS:

Condition 10 be added:

1. The development hereby permitted shall not be occupied until details of signage for the parking spaces to be provided for the residents of the development, have been submitted to and approved by the local planning authority. The spaces shall be marked for their intended purposes in accordance with the approved details and therefore maintained

Reason: The condition above is required in order that the development should not cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access , and Servicing TAP2 Airport Car Parking and DES8 Construction Management of the Reigate and Banstead Local Plan Development Management Plan September 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17 (Travel Options and Accessibility).

ITEM NO: 7

**PLANNING APPLICATION: 19/01605/F - KINGSFIELD BUSINESS CENTRE,
PHILANTHROPIC ROAD, REDHILL**

Condition 12 be amended as follows:

1. Notwithstanding the submitted plan numbered 101 Rev P13 the development hereby approved shall not be occupied unless and until a minimum of seven of the available parking spaces are provided with a power supply to fit a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply) in accordance with a revised scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access , and Servicing TAP2 Airport Car Parking and

DES8 Construction Management of the Reigate and Banstead Local Plan Development Management Plan September 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17 (Travel Options and Accessibility).

ITEM NO: 8

PLANNING APPLICATION: 20/01116/F – 35 HOLMETHORPE AVENUE, REDHILL

Conditions

Following receipt of a contaminated land desk study report, condition 5 has been revised as follows:

5. Prior to commencement of development and in accordance with the environmental desktop study by Albury S.I reference 20/11863/A/KJC, dated August 2020 a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works. Please note this means a proposal is required to be submitted and approved prior to actually undertaking a Site Investigation.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard the Reigate and Banstead Local Plan Development Management Plan 2019 (Policy DES9 Pollution and contaminated Land) and the NPPF

Condition 6 is no longer required and is deleted.

Following a request from the applicant for flexibility, it is suggested that condition 14 be amended as follows:

14. No more than 19 employees who have travelled to the site by private car shall be on site at any one time unless otherwise agreed in writing with the Local Planning Authority.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to satisfy policy TAP1 of the Reigate and Banstead Development Management Plan 2019 and the provisions of the NPPF.

ITEM NO: 9

PLANNING APPLICATION: 20/00789/F - LAND ADJACENT TO 86-100 CHILBERTON DRIVE, MERTSHAM, SURREY

This item has been withdrawn from the agenda for tonight's meeting to correct an error identified with regards the red-lined location plan.

ITEM NO: 10

PLANNING APPLICATION: 20/01141/F – BANSSTEAD AMBULANCE STATIO, THE HORSESHOE, BANSTEAD

Condition 2 be amended as follows:

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan title	Plan Number	Revision	Date received
Location Plan	P001	P1	18/06/2020
Existing Site Plan	P002	P1	05/06/2020
Existing Site Plan	P003	P1	05/06/2020
Proposed floor plan	P005	P1	05/06/2020
Proposed floor plan	P006	P1	05/06/2020
Proposed floor plan	P007	P1	05/06/2020
Roof plan	P008	P1	05/06/2020
Proposed Elevations	P009	P2	01/09/2020
Proposed sections	P010	P1	05/06/2020
Proposed plans	P011	P2	01/09/2020
Proposed plans	P012	P1	05/06/2020
Existing elevations	P013	P1	05/06/2020
Existing plan	P014	P1	05/06/2020
Site layout	WD002	P3	05/06/2020
Proposed plans	P016	P1	30/09/2020
Arboricultural Plan	SJA TCP 00692-011		05/06/2020
Site layout plan	AC19189-CIV-101	P2	05/06/2020

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Add informative as follows:

The applicant is encouraged to explore and provide improvements to the surface of the footpath between The Horseshoe and the A217 Brighton Road in order to encourage the use of the footpath for staff and visitors to the site, as well as to other users.

ITEM NO: 11

PLANNING APPLICATION: 20/01409/F - REIGATE COLLEGE, CASTLEFIELD ROAD, REIGATE, SURREY

An additional informative is suggested:

INFORMATIVES

5. The applicants are reminded of the informatives attached to the recent planning permission, 19/00875/S73, encouraging means of monitoring pupil numbers on site and liaison with neighbouring residents. The College is also encouraged to open dialogue with the local planning authority about any future development proposals and to consider measures to relieve parking stresses within the local area.

ITEM NO: 12

PLANNING APPLICATION: 20/01025/HHOLD - 18 WINDERMERE WAY, REIGATE

To assist in the interpretation of the proposal, existing roof plans and proposed floorplans are included at **Appendix A**.

The amended plans consultation period had not expired at the time of report writing. A further comment in objection to the application has been received from 27 Windermere Way. The main issues raised are summarised as follows:

Issue

Drainage/sewage capacity; the additional bathrooms and impact on existing drainage issues in the immediate area.

Response

This is not considered to be a material planning consideration and would be a matter for Thames Water and Building Control.

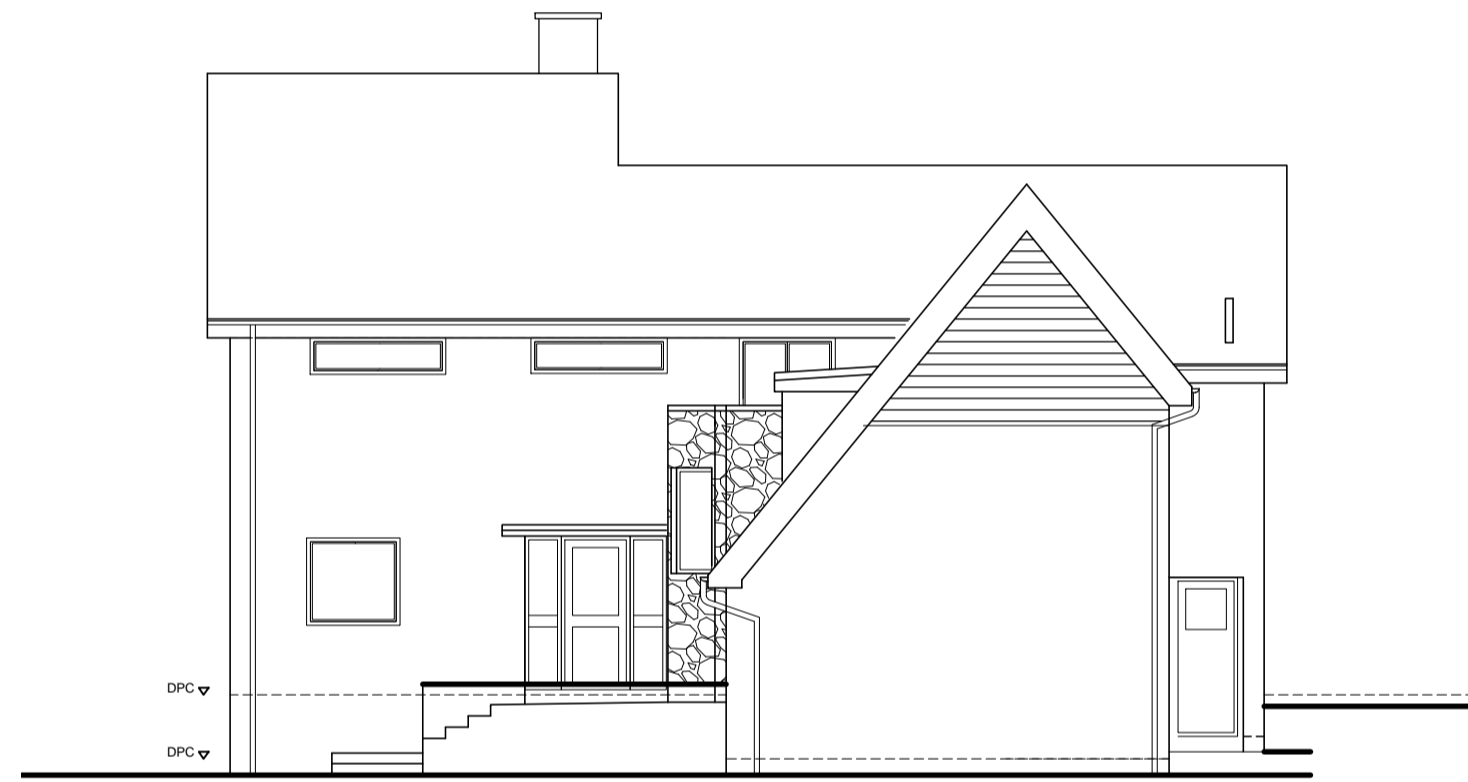
Inadequate parking; loss of parking on the driveway is likely to exacerbate the existing parking issues in this road.

See para. 6.12 in Committee report.

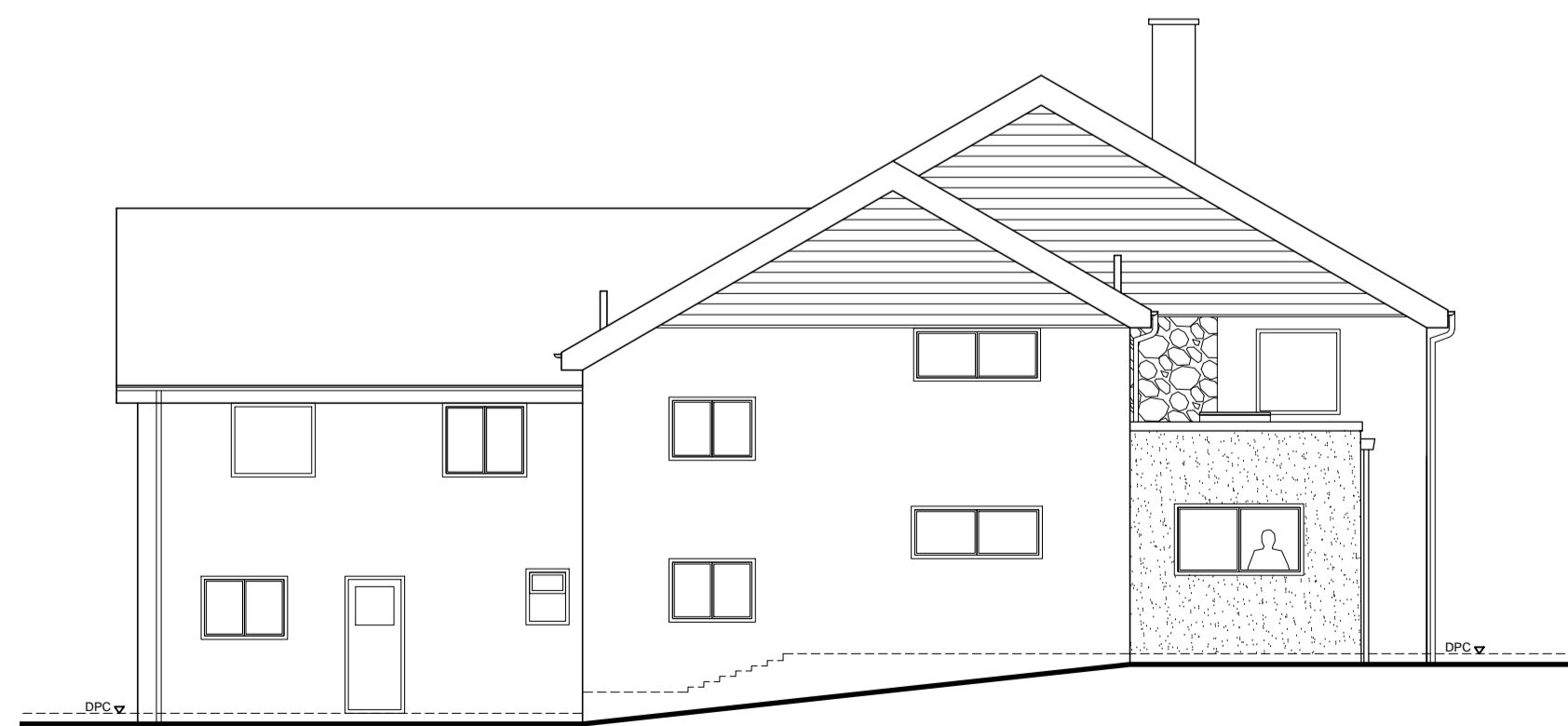
Overbearing relationship; proposed design is likely to look overbearing in the context of the road.

See paras. 6.5 – 6.13 in Committee report.

Appendix A



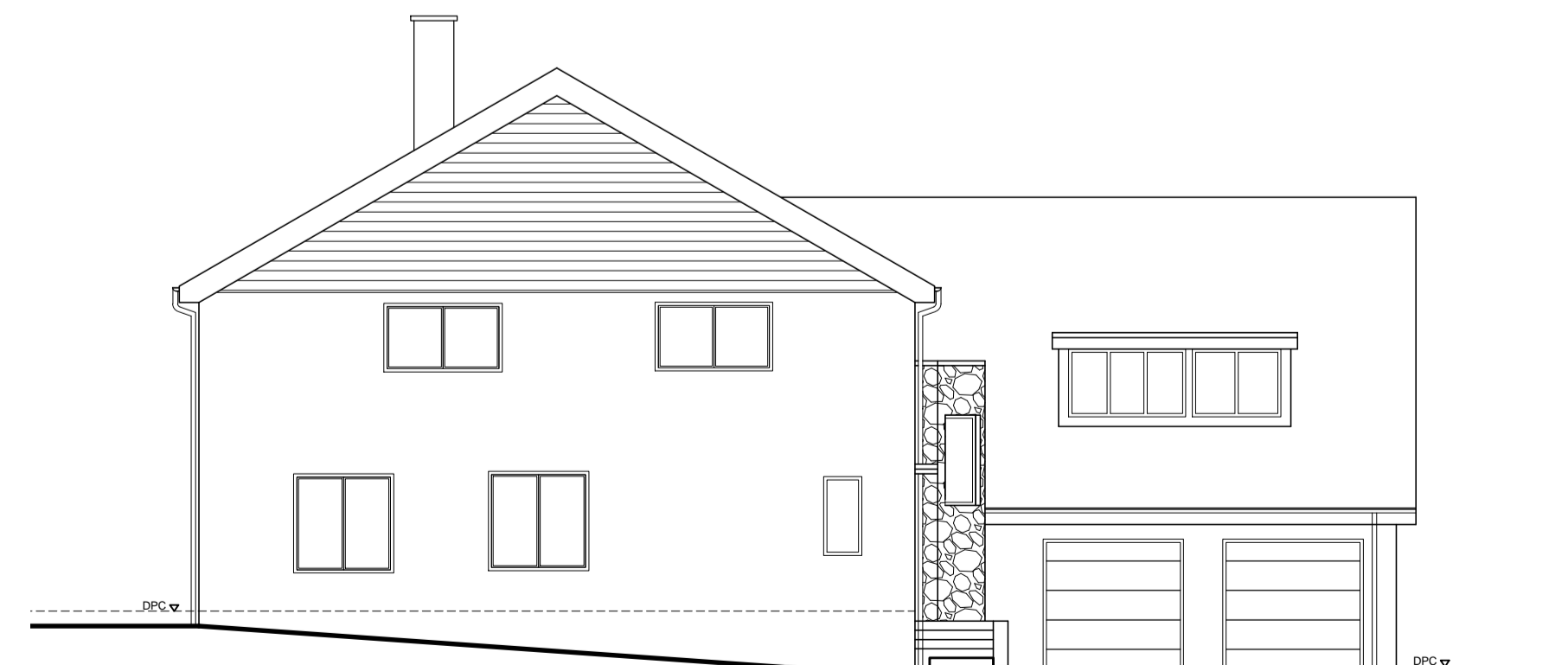
Side Elevation 1:100



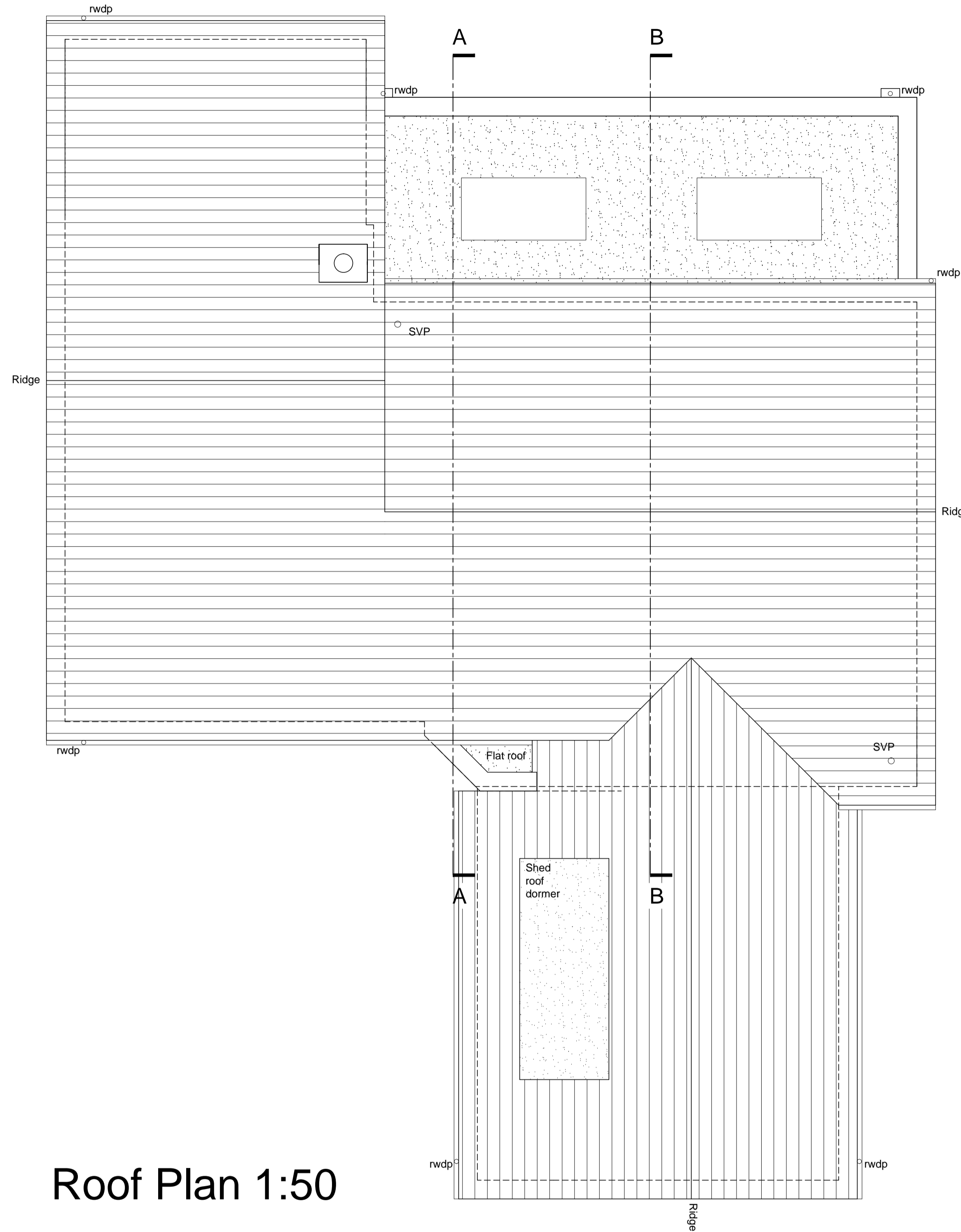
Rear Elevation 1:100



Side Elevation 1:100



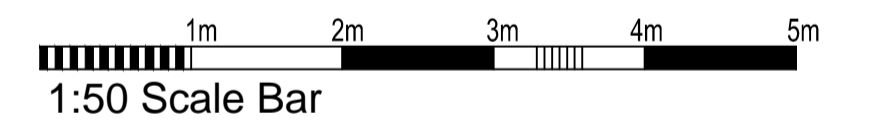
Front Elevation 1:100



Roof Plan 1:50

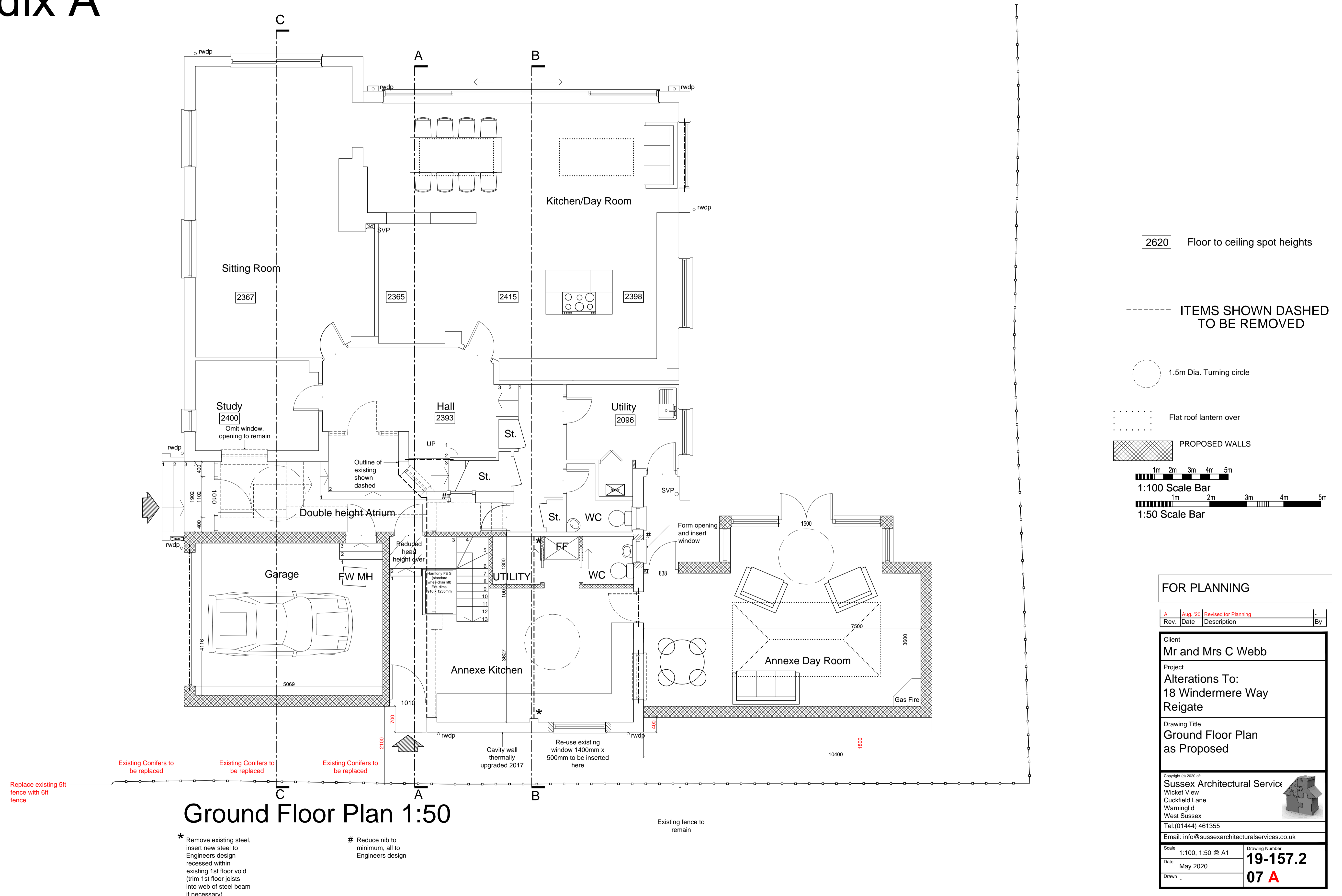
NOTE:
The contractor is to check all site dimensions and levels before work starts. Report any discrepancies.
This drawing must be read with and checked against all structural and other specialist drawings, specifications and bills of quantities. Report any discrepancies.
The contractor is to comply with all current British Standards and Building Regulations whether or not specifically stated on these drawings.

FOR PLANNING



Rev.	Date	Description	By
Client Mr and Mrs C Webb			
Project Alterations To: 18 Windermere Way Reigate			
Drawing Title Roof Plan and Elevations as Existing			
Copyright (c) 2020 of Sussex Architectural Services Wicket View Cuckfield Lane Warminglid West Sussex Tel: (01444) 461355 Email: info@sussexarchitecturalservices.co.uk			
Scale	1:100, 1:50 @ A1	Drawing Number	19-157-02
Date	December 2019	Drawn	

Appendix A



* Remove existing steel, insert new steel to Engineers design recessed within existing 1st floor void (trim 1st floor joists into web of steel beam if necessary)

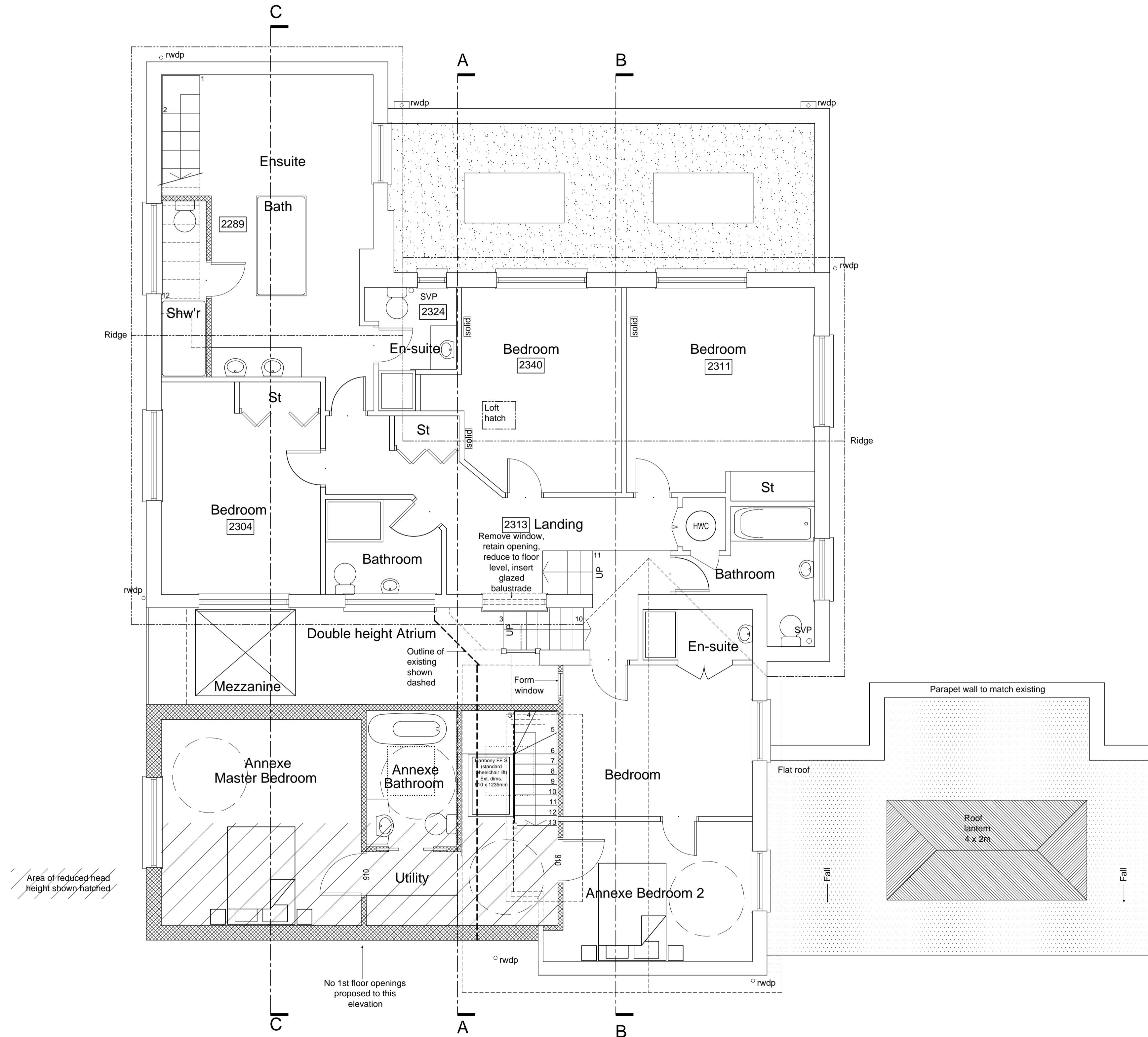
Reduce nib to minimum, all to Engineers design

Replace existing 5ft fence with 6ft fence
 Existing Conifers to be replaced

Existing fence to remain

NOTE:
The contractor is to check all site dimensions and levels before work starts. Report any discrepancies.
This drawing must be read with and checked against all structural and other specialist drawings, specifications and bills of quantities. Report any discrepancies.
The contractor is to comply with all current British Standards and Building Regulations whether or not specifically stated on these drawings.

Appendix A



2620 Floor to ceiling spot heights

ITEMS SHOWN DASHED TO BE REMOVED

1.5m Dia. Turning circle

Flat roof lantern/Velux over

PROPOSED WALLS

1m 2m 3m 4m 5m

1:100 Scale Bar

1m 2m 3m 4m 5m

1:50 Scale Bar

FOR PLANNING

Rev.	Date	Description	By
A	Aug '20	Revised for Planning	-

Client
Mr and Mrs C Webb

Project
**Alterations To:
18 Windermere Way
Reigate**

Drawing Title
**First Floor Plan
as Proposed**

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Sussex Architectural Services
Wicket View
Cuckfield Lane
Warminglid
West Sussex
Tel: (01444) 461355
Email: info@sussexarchitecturalservices.co.uk

Scale 1:100, 1:50 @ A1	Drawing Number 19-157.2
Date May 2020	Drawn 08 A

First Floor Plan 1:50