

**ADDENDUM**  
**MEETING OF THE PLANNING COMMITTEE**  
**TUESDAY 30<sup>th</sup> AUGUST 2023**

**ITEM NO: 5**

**PLANNING APPLICATION: 23/00823/F Land To The North Of Downland Close Epsom Downs Surrey KT18 5SQ**

**Floor Plans**

The proposed floor plans were not included in the agenda pack so they have been added at **Appendix A**.

**Clarification on affordable housing**

At page 13 of the agenda the summary section says:

“The scheme would therefore provide 100% affordable housing although as this would not be secured through condition or legal agreement (for funding purposes) this cannot be given any significant weight.”

To clarify the reason that the affordable housing cannot be secured through legal agreement or condition is not due to funding but because the scheme does not meet the threshold that would normally require the provision of affordable housing under policy DES6 which is developments providing 11 or more homes.

It is understood from the Council’s Housing Officer that the applicant, Raven Housing Trust, as a social housing provider will receive Homes England grant funding on them. The scheme would then be added to the existing overarching nomination the Council has with Raven Housing Trust. The nomination agreement secures nomination rights to the Council of 100% nomination rights at first let and 75% of relets. Then once the units are within the nomination agreement, they stay in. It’s a legal agreement so can’t simply be amended.

If delivered as proposed the provision of affordable housing would be a benefit of the scheme.

**Changes to recommended conditions**

Some minor changes are recommended to the following conditions. The below changes to the conditions are highlighted in **bold** and *italics*.

3. No development shall commence until a Construction Management Statement, to include details of:
- a) Prediction of potential impacts with regard to waste, noise and vibration, dust, emissions and odours. Where potential impacts are identified, mitigation measures should be identified to address these impacts.
  - b) Information about the measures that will be used to protect privacy and the amenity of surrounding ~~sensitive~~ **residential** uses; including provision of appropriate boundary protection.
  - c) Means of communication and liaison with neighbouring residents and businesses.
  - ~~d) Details of parking for vehicles of site personnel, operatives and visitors, loading and unloading of plant and materials, storage of plant and materials, and measures to prevent the deposit of materials on the highway~~
  - d) Hours of work.

Has been submitted to and improved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development is managed in a safe and considerate manner to help mitigate potential impact on the amenity and safety of neighbours and to accord with Reigate and Banstead Development Management Plan 2019 policy DES8.

4. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
  - (b) loading and unloading of plant and materials
  - (c) storage of plant and materials
  - (d) programme of works (including measures for traffic management)
  - (e) provision of boundary hoarding behind any visibility zones
  - (f) HGV deliveries and hours of operation
  - (g) vehicle routing
  - (h) measures to prevent the deposit of materials on the highway
  - (i) before and after construction condition surveys of the highway (**extent of surveys to be agreed with County Highway Authority**) and a **commitment to repair the highway to a standard agreed with the County Highway Authority**
  - (j) on-site turning for construction vehicles

has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy DES8 Construction Management of the Reigate and Banstead Local Plan Development Management Plan September 2019.

5. ***The development shall be carried out in accordance with the proposed ground levels and the proposed finished ground floor levels detailed on the approved plans.***

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 Policy DES1.


15. Notwithstanding the approved plans no development shall take place above slab level until written details of the elements listed below have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and all boundary treatment shall be completed before the first occupation of the development hereby permitted.
- a. materials to be used in the construction of the external surfaces of the buildings, including fenestration and roof
  - b. the finalised positions, design, materials and type of boundary treatment to be erected, including provisions for wildlife access ***where practical and feasible***

Reason: To preserve the visual amenity of the area with regard to the Reigate and Banstead Borough Reigate and Banstead Development Management Plan 2019 Policy DES1 and requirements of the NPPF

**ITEM NO: 6**

**PLANNING APPLICATION: 22/01816/F MITCHELLS OF HORLEY LTD VICTORY WORKS 1 - 9 STATION ROAD HORLEY RH6 9HW**

Details of the applicant have been corrected as per the table below.

 <p><b>Reigate &amp; Banstead</b> BOROUGH COUNCIL Banstead   Horley   Redhill   Reigate</p>	<b>TO:</b>	PLANNING COMMITTEE
	<b>DATE:</b>	30 <sup>th</sup> August 2023
	<b>REPORT OF:</b>	HEAD OF PLANNING
	<b>AUTHOR:</b>	Matthew Sheahan
	<b>TELEPHONE:</b>	01737 276514
	<b>EMAIL:</b>	Matthew.sheahan@reigate-banstead.gov.uk
<b>AGENDA ITEM:</b>	6	<b>WARD:</b> HRC - Horley Central And South

<b>APPLICATION NUMBER:</b>	22/01816/F	<b>VALID:</b>	15/12/2022
<b>APPLICANT:</b>	Woolbro Homes Ltd	<b>AGENT:</b>	DHA Planning Ltd

<b>LOCATION:</b>	<b>MITCHELLS OF HORLEY LTD VICTORY WORKS 1 - 9 STATION ROAD HORLEY RH6 9HW</b>
<b>DESCRIPTION:</b>	<b>Mixed-use redevelopment of the site comprising restoration, partial demolition and conversion of the Former Albert Brewery building for class E uses; demolition of existing builders merchant to provide seven new-build use class E/B2/B8 (flexible) units; and erection of a mixed-use building comprising ground floor flexible Class E use and ten C3 residential apartments with associated vehicle parking, landscaping, and other required works. As amended on 14/09/2022 and on 21/12/2022 and on 28.02.2023 and on 26/04/2023.</b>
<b>All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.</b>	

## Highway Matters

Further comment has been sought from the County Highway Authority (CHA), who have confirmed that they are satisfied with the residential units being car free and that the level of information submitted by the applicant was adequate. The site is within a sustainable location with regard to access to public transport facilities. The site being located within an area that is subject to parking restrictions would prevent users of the site from exacerbating on-street parking and parking dangerously. A condition requiring the submission of a parking management plan prior to occupation of the development would be included in the event of permission being granted, which could secure residential parking within the site after business hours.

## Conditions

The below recommended changes to the conditions are highlighted in **bold** and *italics*.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

<b>Plan Type</b>	<b>Reference</b>	<b>Version</b>	<b>Received</b>
Location Plan	4137/001		12.08.2022
Floor Plan	4137/p120		12.08.2022
Elevation Plan	4137/p121		12.08.2022
Floor Plan	4137/p122		12.08.2022

<b>Elevation Plan</b>	<b>P203</b>	<b>D</b>	<b>30.08.2022</b>
Section Plan	P401	B	12.08.2022
Section Plan	P403	B	12.08.2022
Elevation Plan	1499		12.08.2022
Survey Plan	1499		12.08.2022
Survey Plan	1499		12.08.2022
Survey Plan	1499		12.08.2022
Survey Plan	1499		12.08.2022
Floor Plan	4137_P130	D	26.04.2023
Floor Plan	4137_P122	C	26.04.2023
Elevation Plan	4137_P200	D	26.04.2023
Elevation Plan	4137_P201	C	26.04.2023
Elevation Plan	4137_P202	D	26.04.2023
Block Plan	4137_P100	D	26.04.2023
Floor Plan	4137_P101	D	26.04.2023
Floor Plan	4137_P110	C	26.04.2023
Landscaping Plan	P03		26.04.2023
<b>Site Layout Plan</b>	<b>4137/P003</b>	<b>S</b>	<b>06.07.2023</b>
<b>Other Plan</b>	<b>J32-6640-AT-A02</b>	<b>A</b>	<b>06.07.2023</b>
<b>Other Plan</b>	<b>J32-6640-PS-001</b>	<b>C</b>	<b>06.07.2023</b>

3. Notwithstanding the submitted plans, the proposed external finishing materials and details shall be carried out using the external finishing materials and details specified below and there shall be no variation without the prior approval in writing of the Local Planning Authority:

a) **The scheme shall restore the original Brewery building including full repair and restoration of the brewery building in accordance with a specification and detailed drawings submitted to and agreed in writing by the LPA prior to commencement of development. The openings shall be restored to their**

***original construction detail (removing later crittal window widening) and reinstate the brewery roof. All the repairs and restoration work specified in the specification shall be completed prior to first occupation of any of the followings units; unit 1, the ground floor retail unit and the brewery building as shown on the approved drawings.***

b) All existing external timber wall elevations shall be detailed to retain their existing appearance including their existing louvre type detailing, allowing for upgrading and replacement of any defective joinery.

c) A recording report including a complete survey of the interior and exterior including cross sections and plans of the interior and photograph record shall be carried out before any demolition work commences to the original Brewery building including the wings to be demolished. This shall include an analysis and identification of the function of the various rooms in the building with input from someone with brewery history knowledge and input from CAMRA, the Brewery History Society and the Horley Local History Society as to the meaning and significance of elements. The records at the Surrey History centre and the Horley Local Historic photos of the building and its interior shall be included in the report. Copies of this report shall be submitted to the Local Planning authority for written approval and deposited at the Brough Council and County Historic Environment Record before works commence on the restoration of the brewery building.

d) A recording report including a complete survey of the interior and exterior including cross sections and plans of the interior and photograph record shall be carried out before any demolition work commences to the original Brewery building including the wings to be demolished. This shall include an analysis and identification of the function of the various rooms in the building with input from someone with brewery history knowledge and input from CAMRA, the Brewery History Society and the Horley Local History Society as to the meaning and significance of elements. The records at the Surrey History centre and the Horley Local Historic photos of the building and its interior shall be included in the report. Copies of this report shall be submitted to the Local Planning authority for written approval and deposited at the Brough Council and County Historic Environment Record before works commence on the restoration of the brewery building.

e) The Roof tiles on the brewery building should be reinstated as brown sandfaced handmade clay plain tiles, a sample of which shall be submitted to and approved inwriting by the LPA before its installation.

f) All cleaning of brickwork on the brewery building shall be non-abrasive and all painting work shall be removed from the brewery building brickwork by poultice or other chemical removal.

g) All clean brickwork from the demolished brewery wing shall be salvaged for reuse in the restored building where required for making good.

h) All joinery on the brewery building shall be of painted timber. The brewery building windows shall be of white painted timber with external glazing bars of traditional profile, set back behind the reveal at two header bricks depth (except for bay windows and windows set in timber walls and the south west wing where windows

are set back at one header brick depth), with segmental header brick arches (except for existing natural stone arches) and chamfered brick cills to match existing. Window details shall be submitted to and approved in writing by the LPA before works commence. The fanlights on the south side shall be omitted. Details of all joinery, which shall be of painted timber, including doors, windows, bargeboards, dormers, doors, bay windows and eaves detail, shall be submitted to and approved in writing by the Local Planning Authority before any works commence on the brewery building. The detailed drawings of the bargeboards shall match the original work before recent decay. The bargeboard main plank shall be at least 5cm depth excluding mouldings and the corbels 10cm depth).

i) All brickwork on the brewery building shall be made good to match existing with handmade sandfaced brick with red brick façade with gault brick detailing and multi-stock walling and red stock brick dressings in English bond for the main building and tower and Flemish Bond for the south west wing. The brickwork shall be of the same size as existing, reusing clean salvaged brick from the demolished wings where possible, soot-washed to tone in where necessary and with a brushed slightly recessed mortar joint set behind reveal at 2 header brick depth and chamfered brick cills in English bond except south west addition in 1 brick depth and Flemish bond.

j) All doors on the brewery building shall be of painted timber set back behind the reveal at one brick depth.

k) The new flat block shall have segmental header brick arches and English Bond stringcourses to match the Locally Listed Building. Soldier bricks arches and stringcourses are not appropriate.

l) Before any works above slab level details of the materials and detailing for the flats and warehouse units shall be submitted to and approved in writing by the LPA.

Reason: To preserve the character and historic interest of the locally listed former brewery building, in accordance with the NPPF and Policy NHE9 of the Reigate and Banstead Development Management Plan 2019.

Two further conditions have been added requiring the submission of both a delivery and servicing management plan for the retail unit, and a parking management plan, both to be approved prior to the occupation of the development.

37. Prior to the occupation of the retail unit a Delivery and Servicing Management Plan shall be submitted to and approved in writing by the Local Planning Authority. This document shall include specific measures around the control and management of the deliveries to the proposed retail unit. The approved details shall be implemented upon first occupation of the site.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy TAP1 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

38. Prior to the occupation of the development a parking management plan shall be submitted to and approved in writing by the Local Planning Authority. The management plan shall include details of numbers of spaces, markings and signage, details of any management of parking spaces including allocation of spaces and use of spaces by future residents of the development outside of business hours. The approved details shall be implemented upon first occupation of the site. The car park layout and operation shall thereafter be retained, maintained and operated in accordance with the approved parking layout and management plan.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy TAP1 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

### **Plans**

Floor plans for the proposed buildings, vehicle tracking plans, and elevational plans for Units 4-7 can be found in **Appendix B**.

### **ITEM NO: 7**

**PLANNING APPLICATION: 23/01113/S73 Dormer Cottage The Chase Kingswood Surrey KT20 6HY**

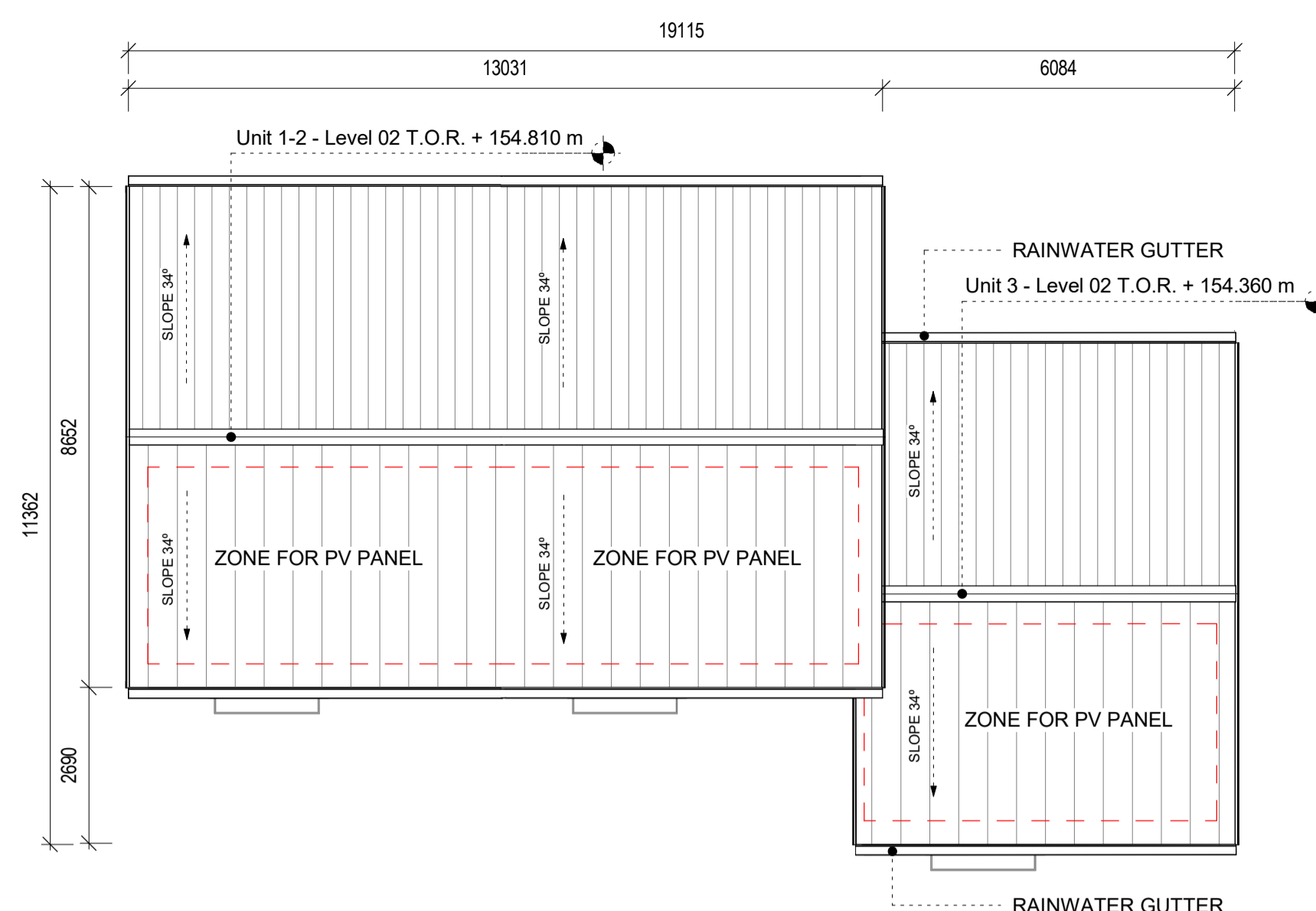
This application has been withdrawn at the request of the applicant and so will no longer be heard at tonight's committee or determined by the Local Planning Authority.



100  
0 10  
Millimetres



**2 DOWNLAND CLOSE BLOCK - FIRST FLOOR PLAN**  
011511 SCALE 1 : 100



**3 DOWNLAND CLOSE BLOCK - ROOF LEVEL PLAN**  
011511 SCALE 1 : 100



**1 DOWNLAND CLOSE BLOCK - GROUND FLOOR PLAN**  
011511 SCALE 1 : 100

**LEGEND**

- APPLICATION BOUNDARY
- MAIN ENTRY TO PLOT
- ASPHALT PAVING
- PROPOSED FENCE
- SOFT LANDSCAPE
- MEADOW GRASS MIX
- SHRUB SCREENING PLANTING
- PERMEABLE MACADAM
- PROPOSED MILD STEEL RAILING
- CONCRETE PAVING
- CONCRETE PAVING
- CAR PARKING - PERMEABLE MACADAM
- ACCESSIBLE CAR PARKING - PERMEABLE MACADAM
- WATER BUTT
- EV CHARGING POINT - PASSIVE (TWO OUTLET POINTS)
- EXISTING TREE
- GARDEN SHED
- AIR SOURCE HEAT PUMP
- TEMPORARY REFUSE COLLECTION POINT
- REFUSE AND RECYCLING BINS

**UNIT TYPE 1**  
Occupancy 2 Bedroom / 4 Person  
Type Accessible and Adaptable  
Area Approx. 89 sq.m

FINISH LEVEL SCHEDULE PLOT 2	
LEVEL NAME	ELEVATION
Downland Close - Unit 1-2 - Level 00	145.805
Downland Close - Unit 1-2 - Level 01 FF	148.655
Downland Close - Unit 1-2 - Level 02 T.O.R.	154.810
Downland Close - Unit 3 - Level 00	145.355
Downland Close - Unit 3 - Level 01 FF	148.205
Downland Close - Unit 3 - Level 02 T.O.R.	154.360



**SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION**

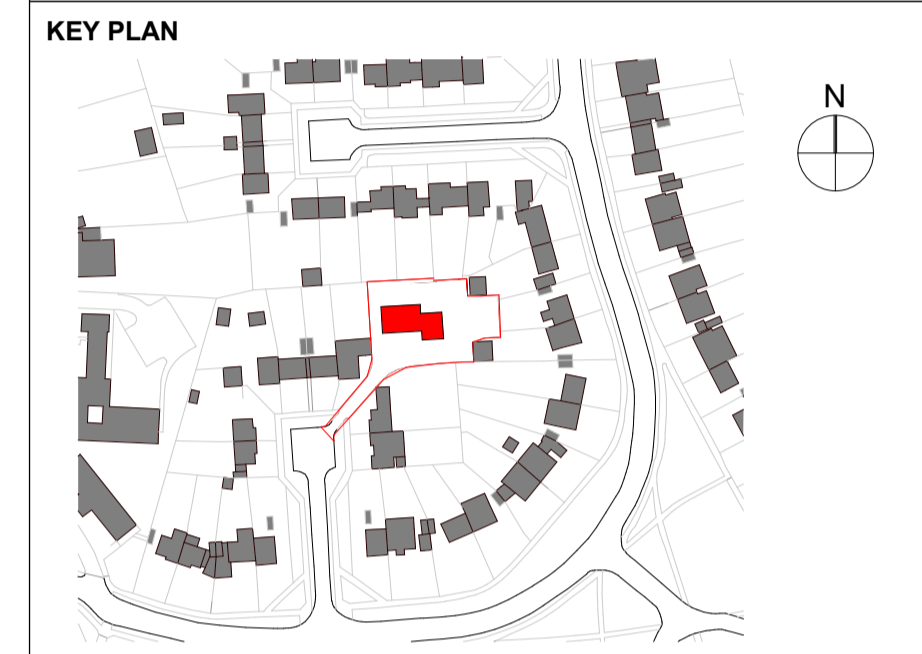
In addition to the hazards/risks normally associated with the types of work detailed on this drawing, note the following:

- CONSTRUCTION
- MAINTENANCE/CLEANING
- DECOMMISSIONING/DEMOLITION

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement

References	
Rev.	Model Name

**NOTE:**  
1. Drawing only to be used for the purpose for which it was created.  
2. All Dimensions are in millimeters unless otherwise specified



Rev.	Date	Description	By	Chk'd	App'd
P1	27/03/2023	FOR INFORMATION	NK	MD	AD

**FOR INFORMATION** **S2**

**SNC-LAVALIN**  
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11 Bressenden Place  
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SW1E 5BY  
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www.atkinsglobal.com  
© SNC-Lavalin (2019)

**edaro**  
Client  
Woodcote Grove  
Ashley Road  
Epsom, Surrey  
England  
KT18 5BW  
Tel: +44 (0) 207121 2000  
www.edaroth.co.uk

**Raven Housing Trust**  
Client  
Raven Housing Trust  
Raven House  
29 Linkfield Lane  
Redhill  
Surrey RH1 1SS  
www.ravenht.org.uk

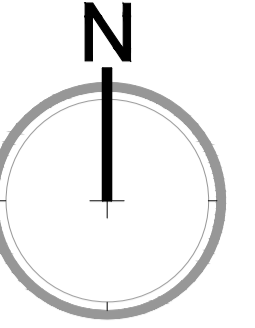
Project Title  
**RAVEN GARAGE SITES**  
BANSTEAD AND TADWORTH

Drawing Title  
**GENERAL ARRANGEMENT**  
**BLOCK TYPE 1 - TYPICAL FLOOR PLANS**  
**DOWNLAND CLOSE**

Scale	Designed	Drawn	Checked	Authorised
1 : 100	MD	SH	MD	AD
Original Size	Date	Date	Date	Date
A1	27/01/2023	03/02/2023	10/02/2023	17/02/2023
Drawing Number	Revision			
5213970-ATK-02-ZZ-DR-AR-011511				P1

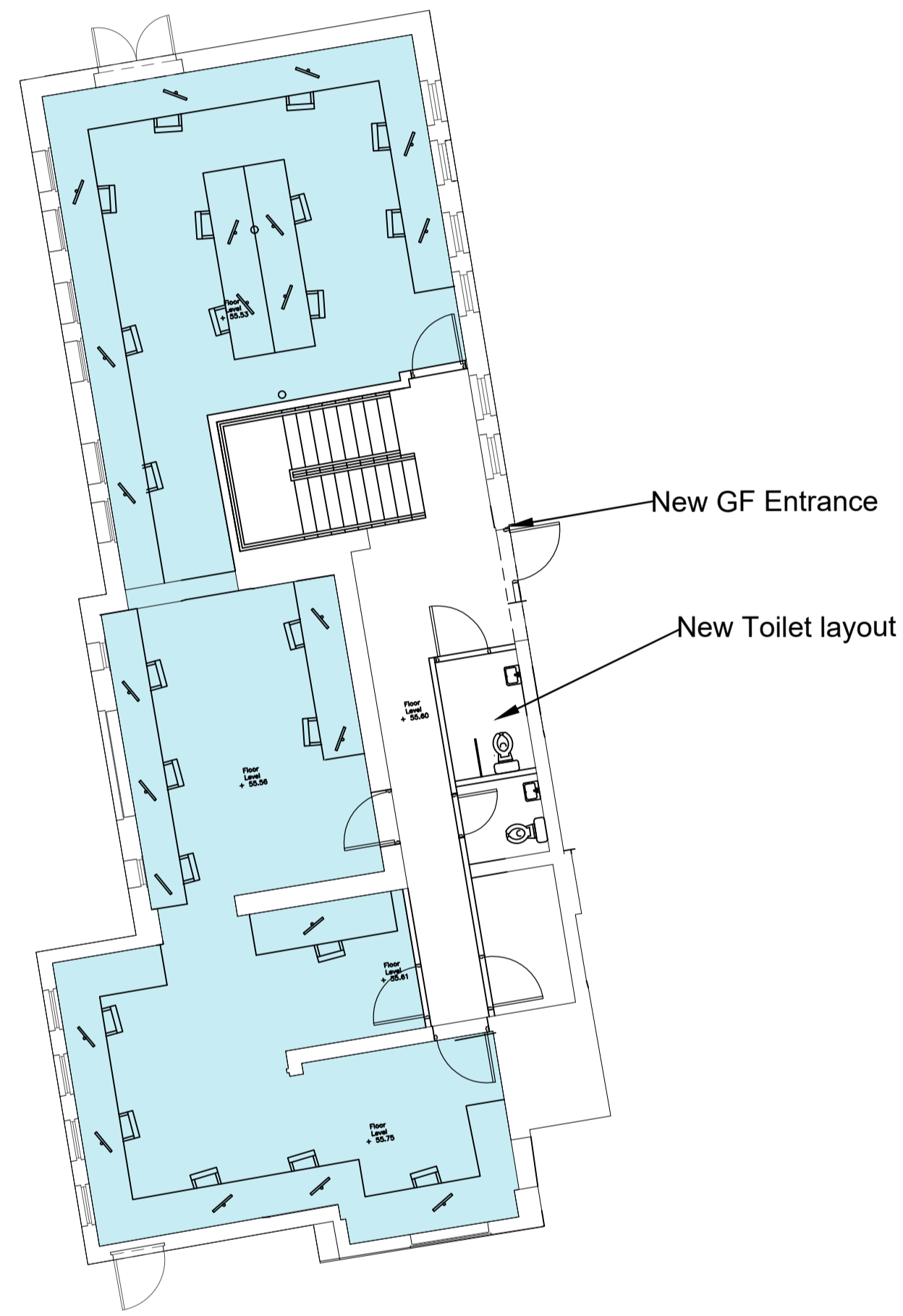
**Appendix A**

# Appendix B



## Office space

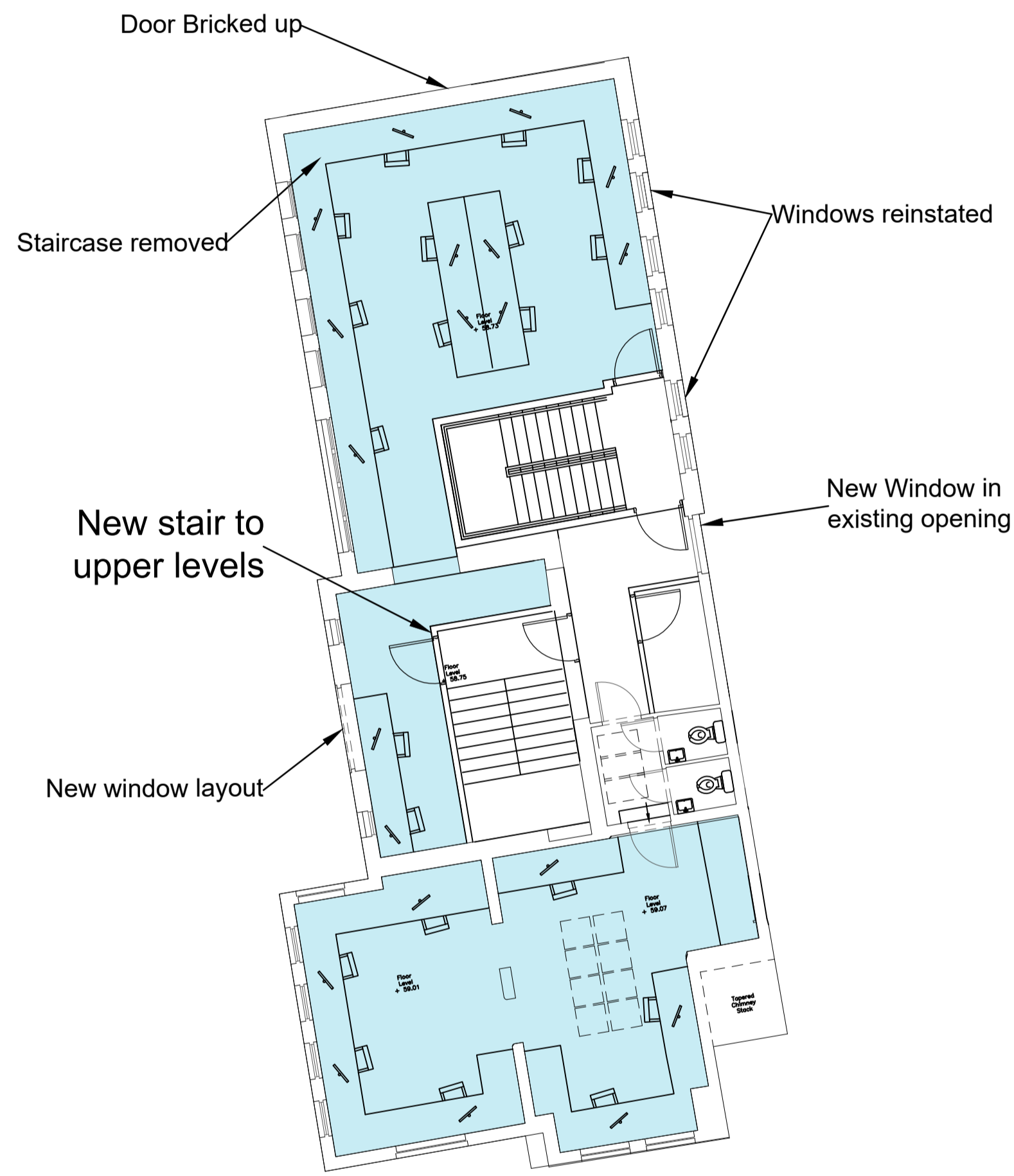
GF GIA: 157sqm (1687sqft)  
 GF NIA: 114sqm (1222sqft)  
 Approx 22 office workspaces



Ground Floor  
1:100

## Office space

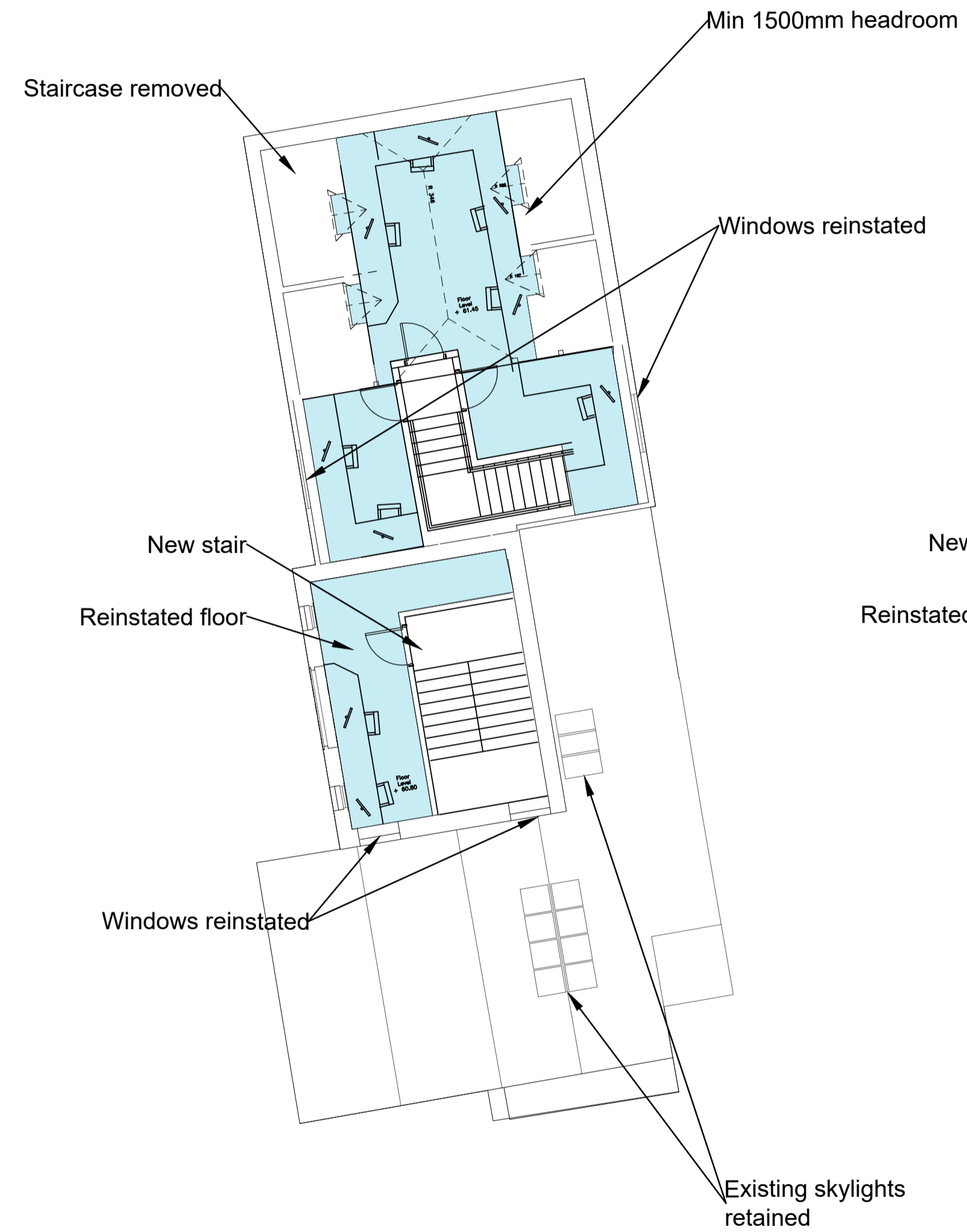
1F GIA: 157sqm (1693sqft)  
 1F NIA: 109sqm (1177sqft)  
 Approx 20 office workspaces



First Floor  
1:100

## Office Space

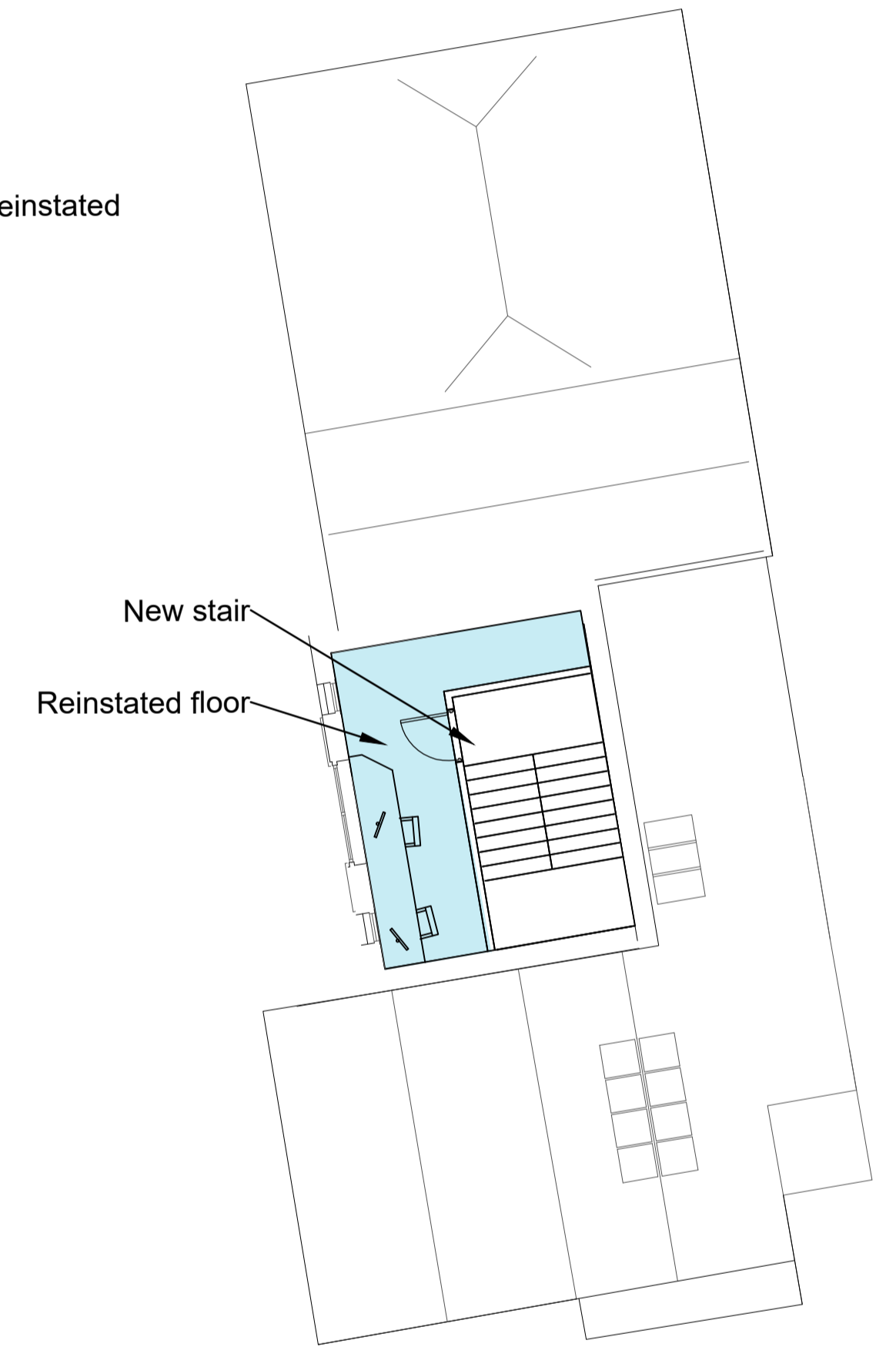
2F GIA: 73sqm (786sqft)  
 2F NIA: 48sqm (521sqft)  
 Approx 9 office workspaces



Second Floor  
1:100

## Office Space

3F GIA: 24sqm (258sqft)  
 3F NIA: 13sqm (135sqft)  
 Approx 2 office workspaces



Third Floor  
1:100

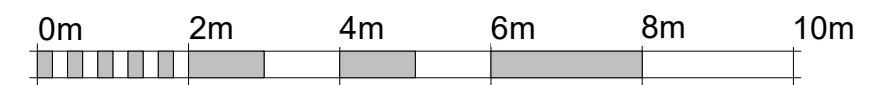


**PLEASE NOTE:**  
 Please refer back to the survey for further roof details.

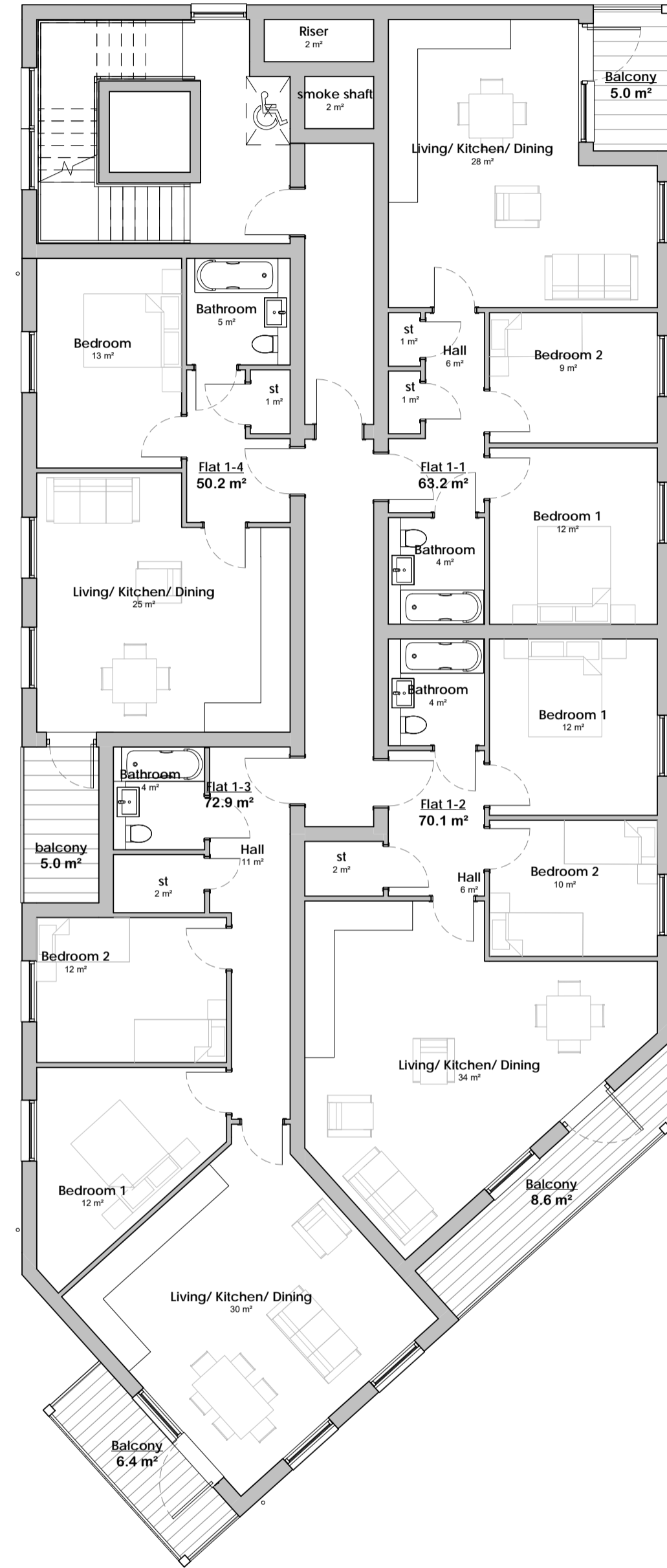
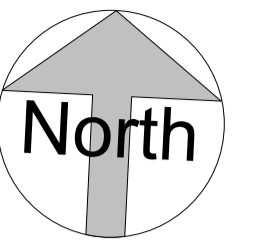
Accommodation Schedule		
Name	Area	Flat Type
Flat 1-1	63.2 m	2b3p
Flat 1-2	70.1 m	2b4p
Flat 1-3	72.9 m	2b4p
Flat 1-4	50.2 m	1b2p
Flat 2-1	63.2 m	2b3p
Flat 2-2	70.2 m	2b4p
Flat 2-3	72.9 m	2b4p
Flat 2-4	50.2 m	1b2p
Flat 3-1	95.1 m	3b6p
Flat 3-2	95.0 m	3b6p

Area Schedule (GIA)	
Name	Area
GF GIA	350 m
1F GIA	321 m
2F GIA	321 m
3F GIA	241 m
Total GIA	1233 m

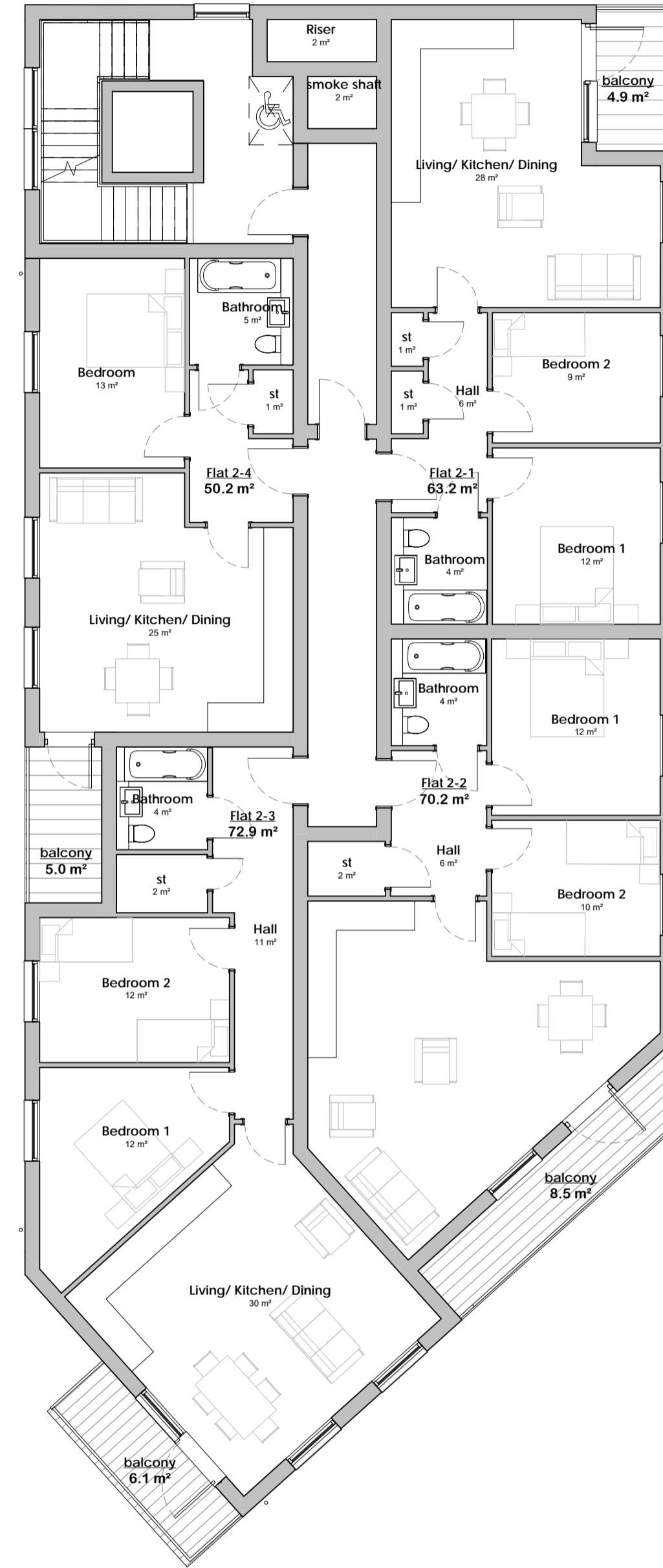
# Appendix B



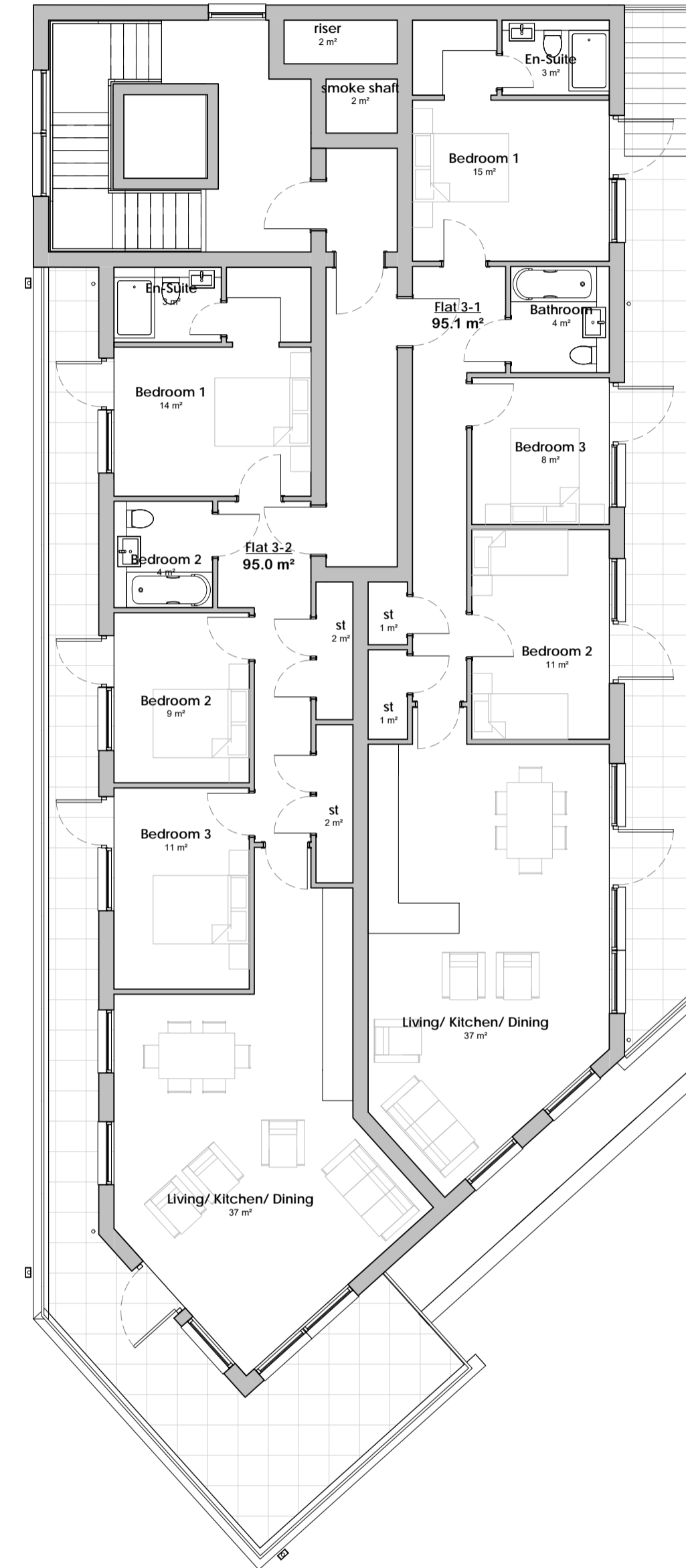
VISUAL SCALE 1:100 @ A1



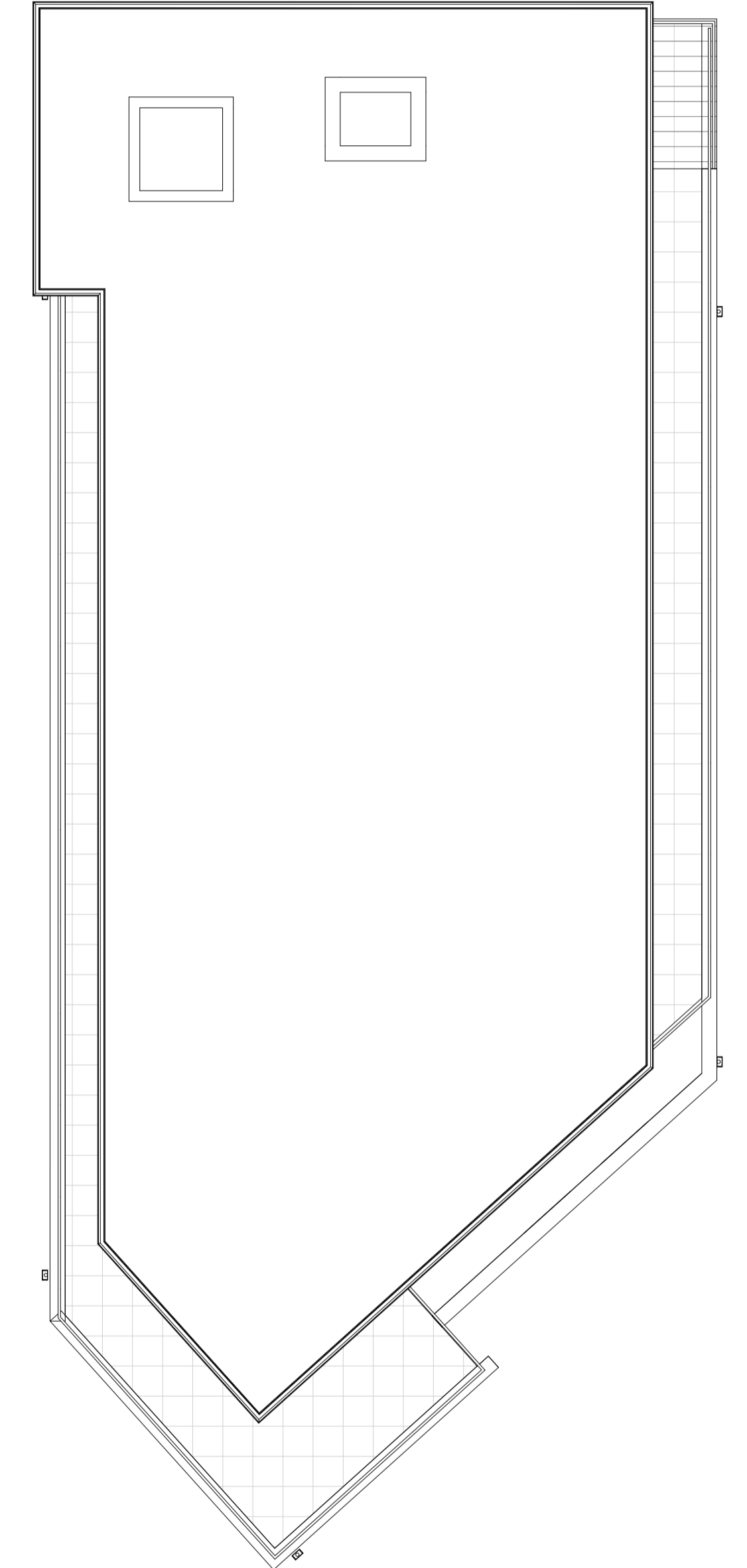
**First Floor Plan**  
1 : 100



**Second Floor Plan**  
1 : 100



**Third Floor Plan**  
1 : 100



**Roof Plan**  
1 : 100

D	GIAs added		20/4/23
C	Flat sizes maximised.	gl	6/4/23
B	Amended to coordinate with updated footprint	gl	24/3/23
A	Building reference updated		1/7/22
Rev	Revision Description	Issued by	Date

subject to site survey and LA approvals

general notes:

this drawing shall not be scaled.

all dimensions shall be checked on site, where applicable, prior to commencing the works.

all works shall conform to the current edition of the building regulations and other relevant statutory requirements.

all materials and workmanship shall conform with the relevant british standard specifications and codes of practice.

this drawing is the copyright of gdm architects and shall not be copied or reproduced without permission.

this drawing shall be read in conjunction with gdm architect's health and safety risk assessments and general principles for means of access a protection.

all works shall be carried out in a safe manner, by competent persons, strictly in accordance with all current statutory provisions and other competent advice relating to the health and safety of all work people and others.

gdm design + management ltd trading as gdm architects

project: 4137 Station Road, Horley dm: gl chkd: gve appd: ge  
 client: Woolbro Group  
 drawing: Retail and Apartment Block - Proposed Plans - 2  
 scale: 1 : 100@A1 status: Planning

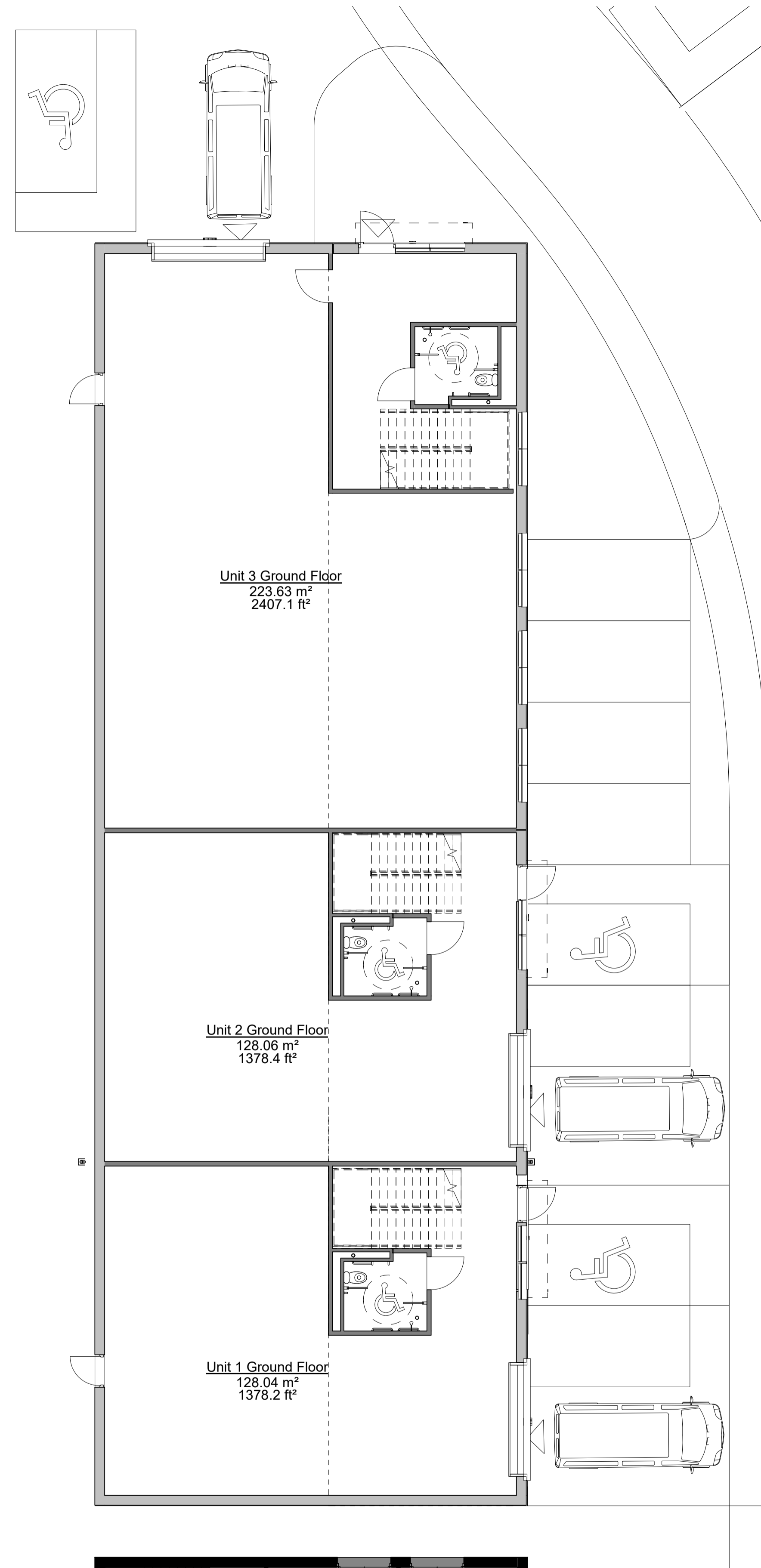
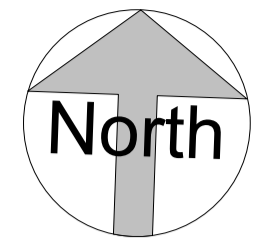
**gdmarchitects**

dm: P101 rev: D

# Appendix B

0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @ A1



**Ground Floor Plan**

1 : 100

subject to site survey and LA approvals

**general notes:**

this drawing shall not be scaled.

all dimensions shall be checked on site, where applicable, prior to commencing the works.

all works shall conform to the current edition of the building regulations and other relevant statutory requirements.

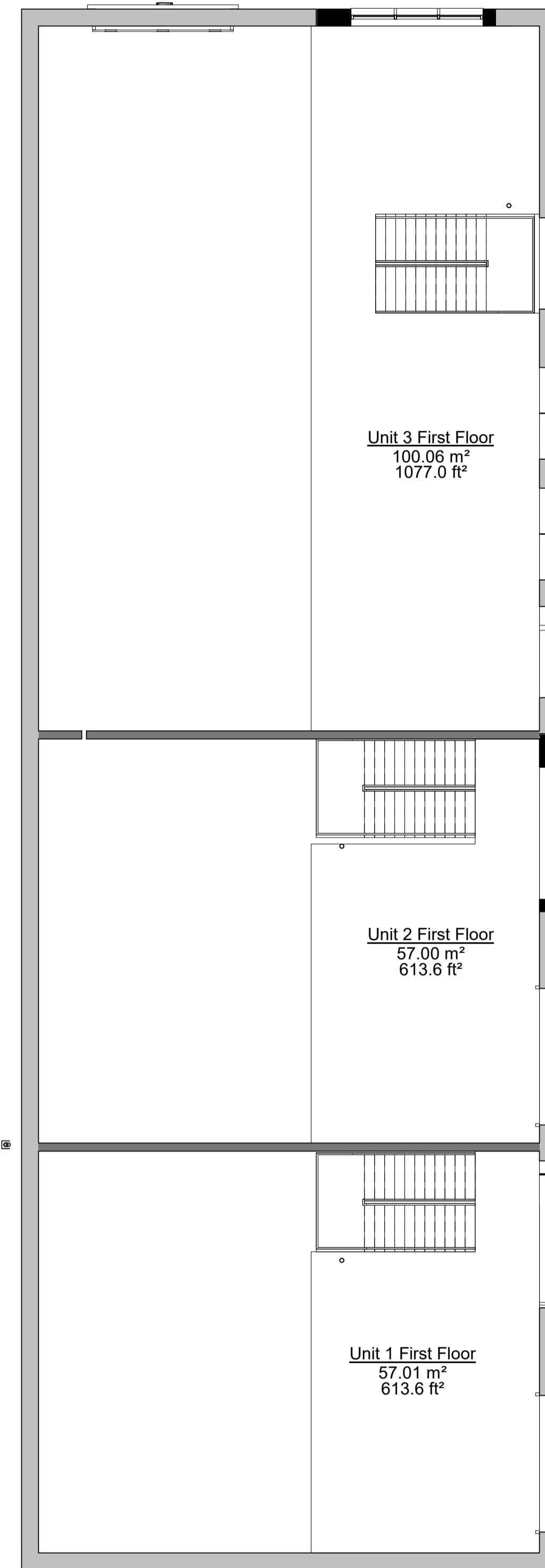
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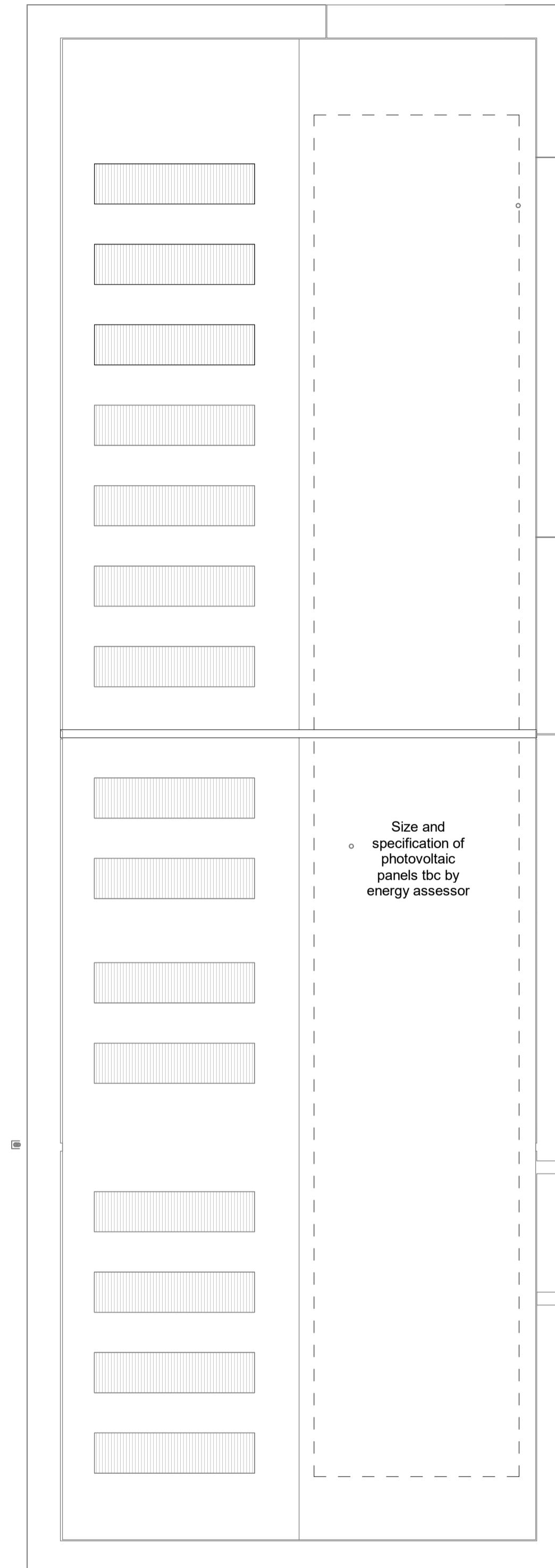
all works shall be carried out in a safe manner, by competent persons, strictly in accordance with all current statutory provisions and other competent advice relating to the health and safety of all work people and others.

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**First Floor Plan**

1 : 100



**Roof**

1 : 100

Rev	Revision Description	Issued by	Date
C	Updated to revised location		24/03/23
B	Building reference updated		1/7/22
A	PV panels added		29/06/22

project: 4137 Station Road, Horley      drn gl      chkd: gve      appd: ge  
 client: Woolbro Group  
 drawing: Units 1-3 - Proposed Floor Plans

scale: 1 : 100@A1      status: Planning

**gdmarchitects**      drn P110      rev C

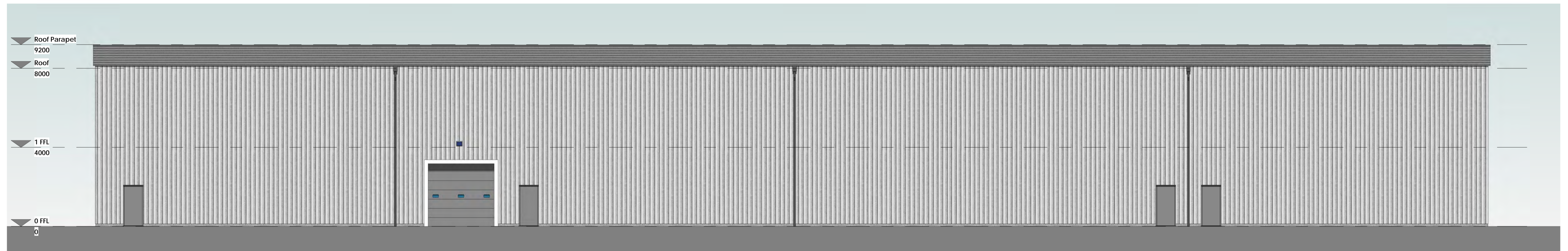
the master's house, college road, maidstone, kent. ME15 6YQ    tel: 01622 760670    fax: 01622 760671    email: info@gdmarchitects.co.uk

# Appendix B

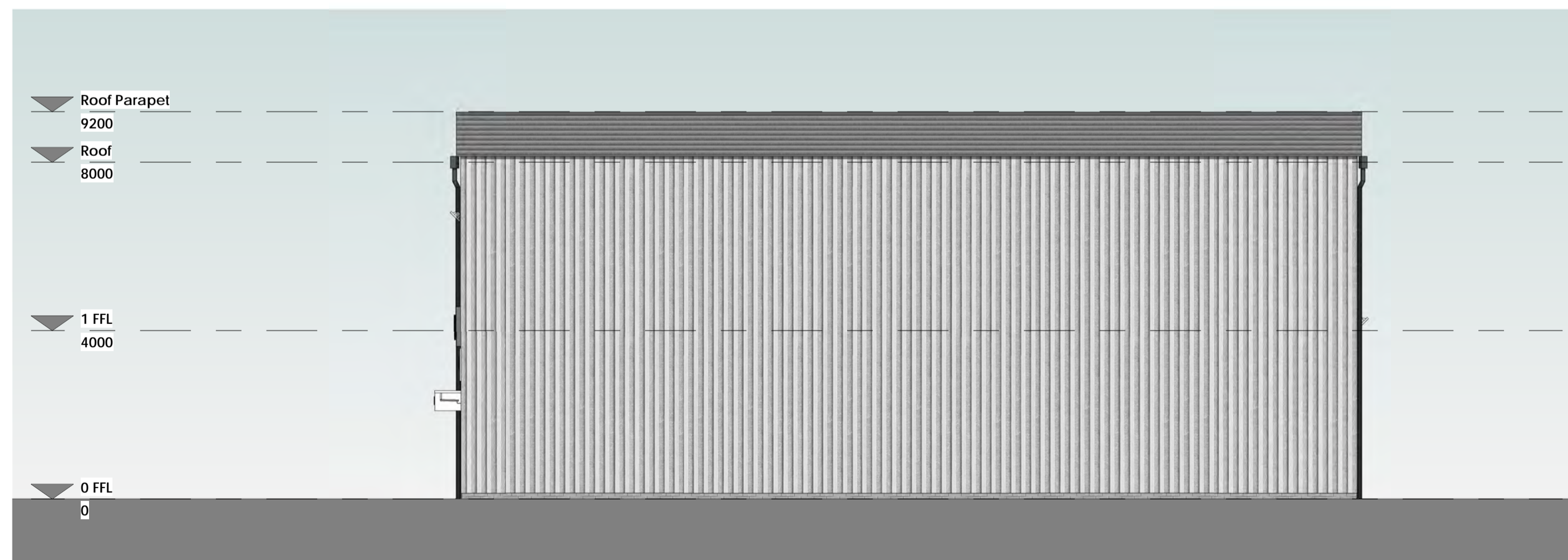
0m 2m 4m 6m 8m 10m  
VISUAL SCALE 1:100 @ A1



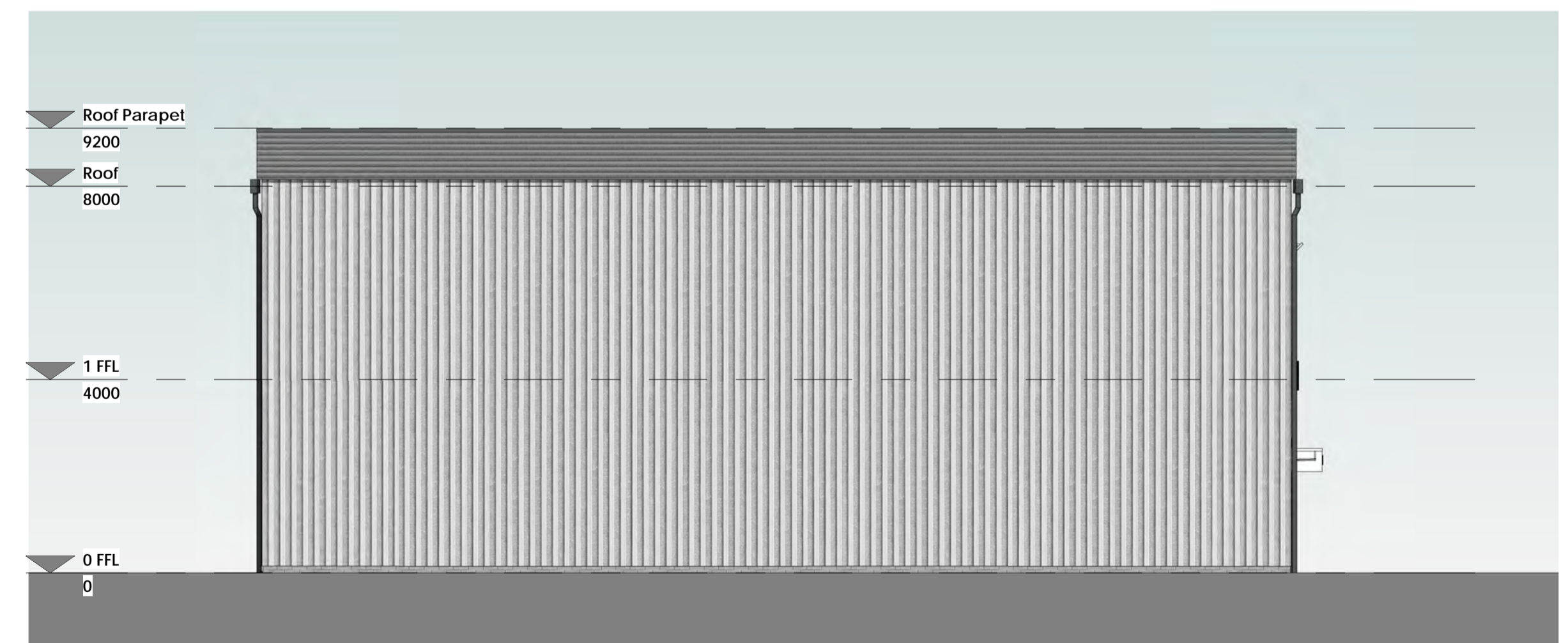
West Elevation (front)  
1 : 100



East Elevation (rear)  
1 : 100



South elevation (side)  
1 : 100



North Elevation (side)  
1 : 100

Rev	Revision Description	Issued by	Date
D	Amended to suit site layout revision m	gl	06/04/23
C	Building reference updated	gl	1/7/22
B	External walls altered to client requirements	gl	28/06/22
A	Plinth wall updated	gl	20/06/22

subject to site survey and LA approvals

general notes:

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- all works shall conform to the current edition of the building regulations and other relevant statutory requirements.
- all materials and workmanship shall conform with the relevant british standard specifications and codes of practice.

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project: 4137 Station Road, Horley  
client: Woolbro Group  
drawing: Units 4-7 Proposed Elevations

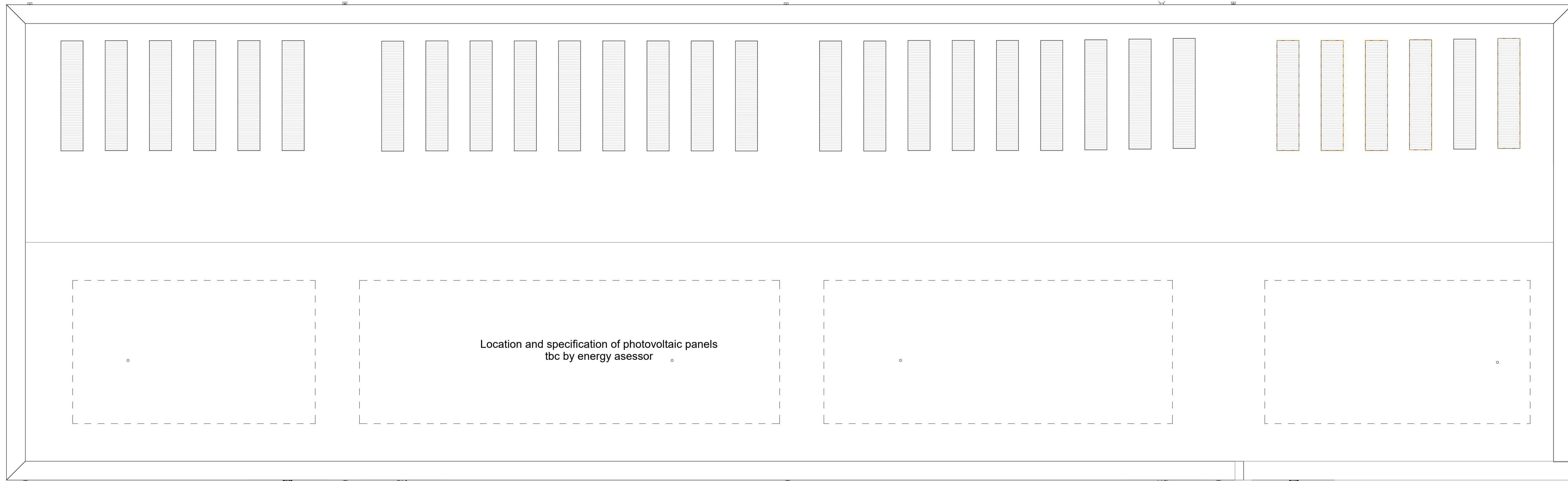
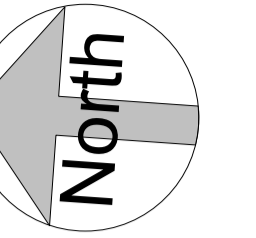
scale: 1 : 100@A1  
status: Planning

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the master's house, college road, maidstone, kent, ME15 6YQ tel: 01622 760670 fax: 01622 760671 email: info@gdmarchitects.co.uk

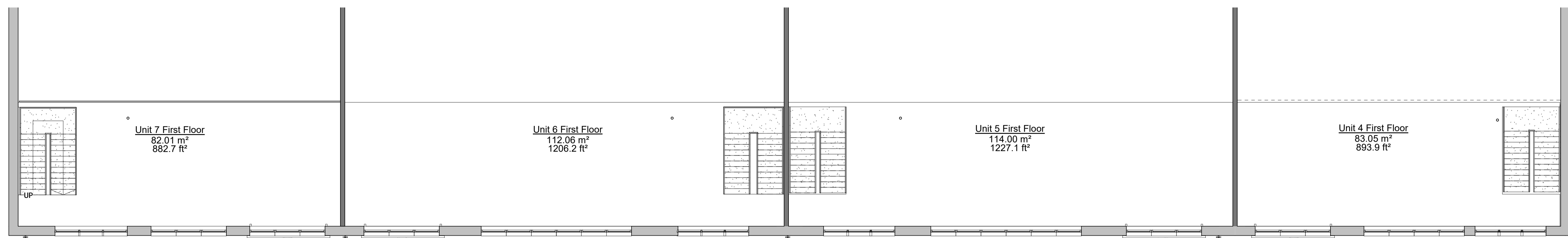
drn gl chkd: gve appd: ge  
P203 rev D

# Appendix B

0m 2m 4m 6m 8m 10m  
VISUAL SCALE 1:100 @ A1



**Roof Plan**  
1 : 100



**First Floor Plan**  
1 : 100

Rev	Revision Description	Issued by	Date
B	Amended to suit site layout revision m	gl	24/03/23
A	Building reference updated	gl	1/7/22

subject to site survey and LA approvals

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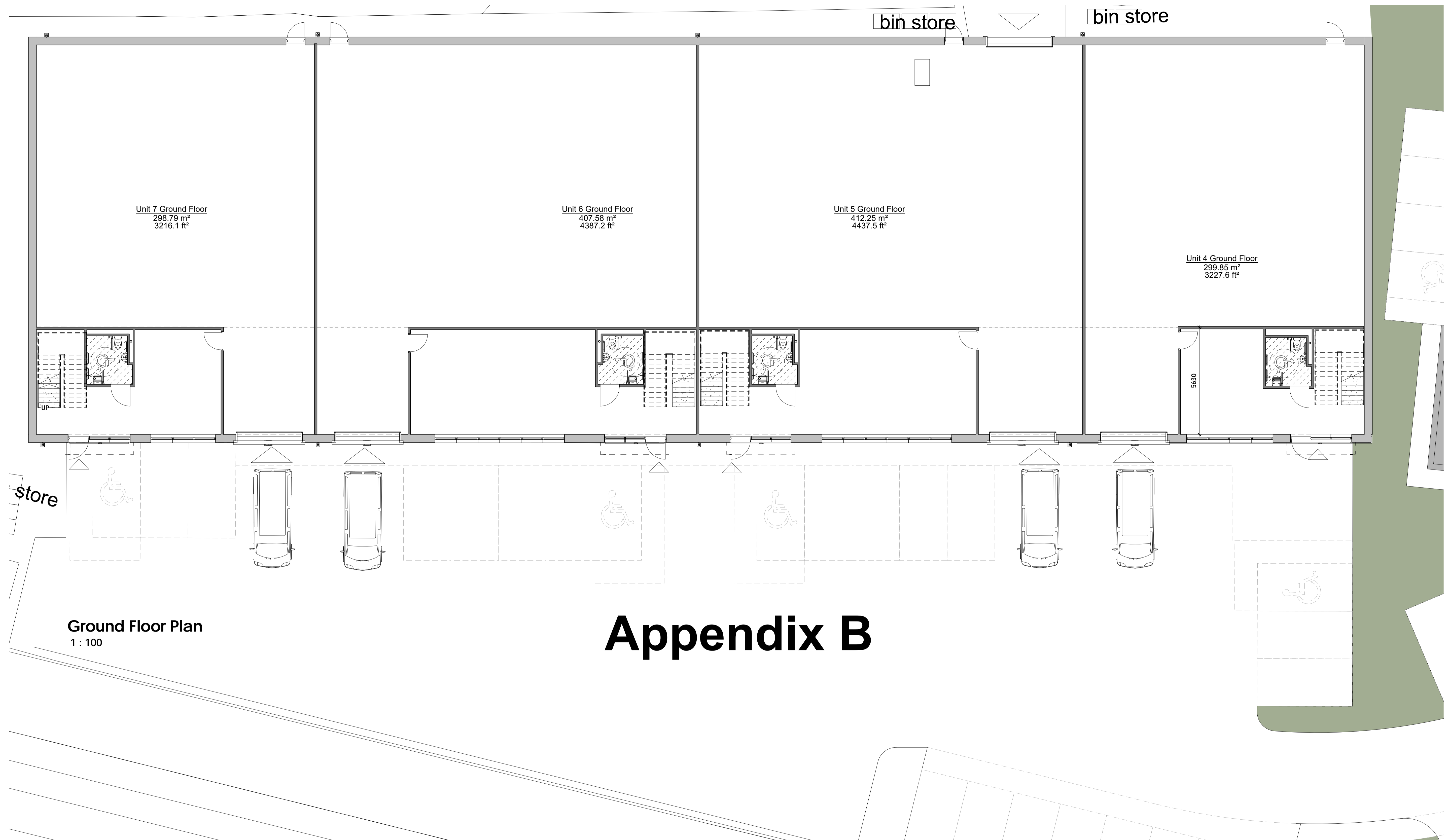
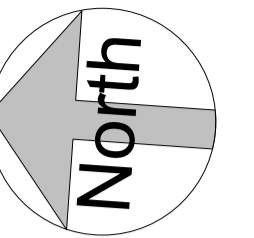
project: 4137 Station Road, Horley  
client: Woolbro Group  
drawing: Units 3-7 - Proposed Floor Plans 2

drn gl chkd: gve appd: ge

scale: 1 : 100@A1 status: Planning

**gdmarchitects** drn P131 rev B

the master's house, college road, maidstone, kent, ME15 6YQ tel: 01622 760670 fax: 01622 760671 email: info@gdmarchitects.co.uk



Ground Floor Plan  
1 : 100

# Appendix B

D	Amended to suit site layout revision m	gl	24/03/23
C	Building reference updated	gl	1/7/22
B	Minor updates	gl	28/06/22
A	Title sheet updated - drawing renumbered	gl	24/06/22

Rev	Revision Description	Issued by	Date
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subject to site survey and LA approvals

**general notes:**  
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project: 4137 Station Road, Horley  
 client: Woolbro Group  
 drawing: Units 4-7 - Proposed Floor Plans 1

drn gl chkd: gve appd: ge

scale: 1 : 100@A1 status: Planning

**gdmarchitects** drn P130 rev D